

TRINITY EXPRESS TIRE DEALER & SERVICE CENTER

3542 SOUTH COLLEGE ROAD (NC 132)
WILMINGTON, NORTH CAROLINA 28403

DESIGN DOCUMENTS DECEMBER 2021

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT

ATTN: BRIAN CHAMBERS, PLANNER
PH: 910-341-3247

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

PIEDMONT NATURAL GAS

ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911

POLICE - FIRE - RESCUE

ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY
PH: 910-343-0696

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)

ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-322-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT
BILL WILDER
PH: 910-772-4903

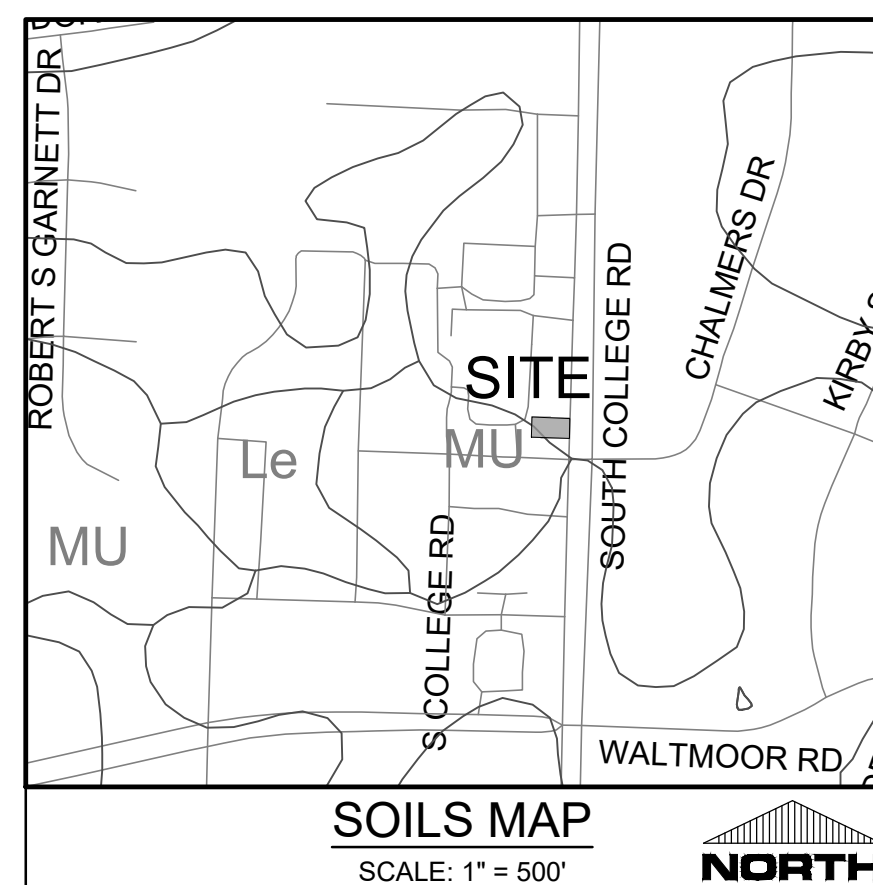
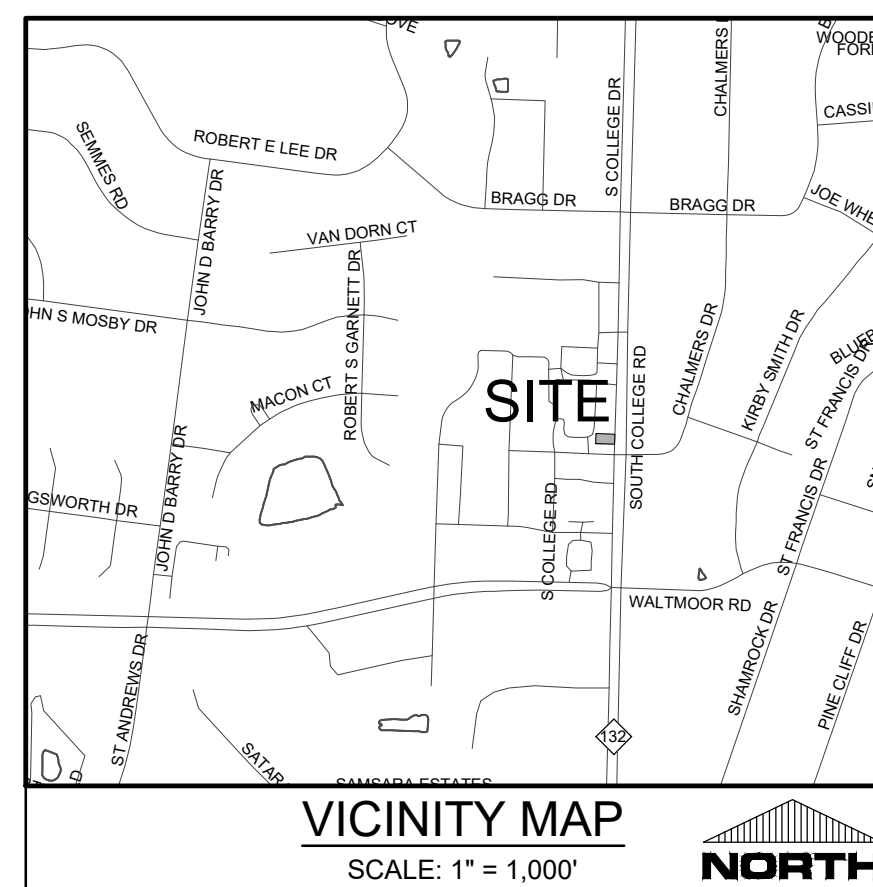
AT&T/BELL SOUTH

ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)
PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

SPECTRUM

GENERAL PH: 800-892-4357



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy.

Trinity Express Tire and Service

APPROVED 12/6/21

SWP 2021047

JW, ES, BM, CW, MB

APPROVED
By waltonj at 11:09 am, Dec 06, 2021

CONTRACTOR:

VICTORI CONSTRUCTION, LLC
1708 THOMAS AVENUE
CHARLOTTE, NC 28205
(704) 441-8625
ATTN: TORI JAHN

ENGINEER (CIVIL):

PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: ROB BALLAND, P.E. (910) 791-6707

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PREPARED BY:

PARAMOUNTE
ENGINEERING, INC.

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

PROJECT # 21159.PE



COORDINATION NOTES:

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA), AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

1. TREE INVENTORY AND TOPOGRAPHIC SURVEY COMPLETED BY BATEMAN CIVIL SURVEY CO. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE USDOT.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 811 AN ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
8. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
9. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
10. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
15. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
16. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CFPUA, RESPECTIVELY.
17. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPES OR OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL* TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
19. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
20. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE REFLECTIVE MARKINGS AND SHALL CONFORM TO MUTCD. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
21. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS.
22. ALL DIMENSIONS AND RADI ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.

TRAFFIC NOTES:

1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY OF WILMINGTON AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTACT 341-5886 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
6. CONTACT TRAFFIC ENGINEERING, AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY- EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPLACED.
8. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.



Know what's below.
Call before you dig.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODDED OR SEEDED AS INDICATED AND STABILIZED.
10. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NCDENR'S FINAL APPROVAL IS REQUIRED.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).
14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPE TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREAS SHALL BE STABILIZED IMMEDIATELY.

DEMOLITION NOTES:

1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE GEOTECHNICAL ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
7. EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
8. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
9. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
10. CONTRACTOR SHALL MAINTAIN REQUIRED DISTANCES FROM HIGH VOLTAGE OVERHEAD LINES AND REMOVE TREES SO THEY DO NOT FALL TOWARDS OVERHEAD ELECTRICITY.
11. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
12. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
13. EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
14. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS.

NEW HANOVER COUNTY LAND QUALITY STABILIZATION TIME FRAME NOTE:

DENuded AREAS MUST BE STABILIZED WITH FIFTEEN (15) WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY. ALL SLOPES MUST BE STABILIZED WITHIN TWENTY-ONE (21) CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY. THIS INCLUDES SLOPES, SWALES, CHANNELS AND STOCKPILES.

NPDES BUILDING WASTES HANDLING:

1. NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS.
2. DESIGNATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
3. EARTHEN-MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
4. CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.

NPDES INSPECTIONS:

1. SAME WEEKLY INSPECTION REQUIREMENTS.
2. SAME RAIN GAUGE & INSPECTIONS AFTER 0.5" RAIN EVENT.
3. INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS".
4. INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED.
5. RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.
6. ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.

NPDES SEDIMENT BASINS:

1. OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE UNLESS DRAINAGE AREA IS LESS THAN 1 ACRE.
2. USE ONLY DWQ-APPROVED FLOCULANTS.

NPDES - SPECIFIC PLAN SHEETS NOTES:

1. THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
2. THIS PAGE CAN BE APPROVED BY THE COUNTY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
3. THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000.
4. THE COUNTY IS NOT AUTHORIZED TO ENFORCE THE NPDES PORTION OF THIS PAGE OF THE PLANS AND THEY ARE NOT A PART OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER THE COUNTY CODE.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH PHASE OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED, WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE DISTURBANCE IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE DISTURBANCE LIMITS ARE COMPLETE.

1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S), ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SILT FENCE.
2. CLEAR AND REMOVE FROM TREE TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
7. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETE, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL BY ENGINEER OR EROSION CONTROL INSPECTOR.
8. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
9. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN GRASS & PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

EROSION CONTROL MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2-INCH OR GREATER RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF 1/4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
3. SEDIMENT FENCE / SEDIMENT FENCE OUTLETS - SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL, AND SPACED 6 FEET WITH EXTRA STRENGTH FABRIC AND NO WIRE BACKING. STAKE SPACING CAN BE 8 FEET WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS (OR EXCISIOR WATTLES) ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK OR WATTLE WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS, OR IS DAMAGED.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INLET PROTECTION - SEDIMENT SHALL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL, BLOCK AND GRAVEL, OR ROCK-PIPE INLETS, WHEN IT REACHES HALF-FILLED, ROCK WILL BE CLEANED OR REPLACED WHEN NO LONGER DRAINS. SILT SACKS, BEAVER DAMS, SANDY SACKS, AND SOCKS NEED CHECKING EVERY WEEK AND AFTER RAIN.
6. OUTLET PROTECTION - INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER OFFSITE SEDIMENTATION.
7. DIVERSION DITCHES / GRASS SWALES - INSPECT THE CHANNEL OUTLET AND ALL ROAD CROSSINGS FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY. DIVERSIONS SHALL BE LINED OR STABILIZED AS NOTED ON THE PLANS. IF THE DIVERSION WILL BECOME PERMANENT GRASS SWALES, THEN GROW GRASS INTO A HEALTHY, VIGOROUS CONDITION.
8. CHECK DAMS - EXCISIOR OR RIP-RAP - SEDIMENT SHALL BE REMOVED FROM THE DAM WHEN IT REACHES HALF-FILLED. CHECK DAMS SHALL BE REPAIRED OR REPLACED, AND CHANNEL SHALL BE REPAIRED OF RUTS, PIPING, AND SETTLEMENT AROUND THE DAMS AS NEEDED.
9. CONCRETE WASHOUTS - CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMAGES SHOULD BE REPAIRED PROMPTLY. IF FILLED TO OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE VACUUMED OR ALLOWED TO EVAPORATE TO AVOID OVERFLOWS. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER COVERED TO AVOID AN OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED.

PERMANENT SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
BERMUDA, HULLED BERMUDA, UNHULLED	10-20 35	MARCH - AUGUST SEPT. - FEB.	BY SOIL TEST
CENTPEDEE	10	MARCH - AUGUST	BY SOIL TEST (NO HIGH PH)
TALL FESCUE (COASTAL CULTIVAR RECOMMENDED)	50	MARCH - AUGUST	300 LB/AC 10-20-20 OR BY SOIL TEST
SLOPES >= 2:1 CENTPEDEE, SERICEA LESPEDEZZA	5 20	JAN - DEC	BY SOIL TEST

TEMPORARY SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
RYE GRAIN	50	OCT. - APR.	400 LBS/AC 10-20-20
SWEET SUDAN GRASS	50	JUNE - AUGUST	400 LBS/AC 10-20-20
GERMAN OR BROWNTOP MILLET	50	JUNE - AUGUST	400 LBS/AC 10-20-20
STRAW MULCH AS NEEDED	4,000		

STABILIZATION TIME FRAMES:

"IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY, CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT."

NPDES WATER QUALITY STABILIZATION TIME FRAMES			
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS	
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE	
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE	
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED	
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH	
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HOW ZONES	

NC ACCESSIBILITY NOTES:

GENERAL NOTES:

1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNT ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT. IN ADDITION, PARAMOUNT ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
3. THE CONTRACTOR SHALL NOTIFY PARAMOUNT ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNT ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH/AND FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY- EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).
8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY- EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY- EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. * SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES'
9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE, OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY- EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.

RAMP NOTES:

1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1). WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
7. FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS.
9. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.

CURB RAMP NOTES:

1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2)."
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAVEL Lanes, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFERTO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.

10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, ½ INCH WIDE BY ¼ INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

NC ACCESSIBILITY NOTES CONTD.

PARKING SPACE NOTES:

1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 86 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC Lanes. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY- EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES. SIGNS SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.
13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.15 SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 136-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.
14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).

PASSENGER LOADING ZONE NOTES:

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQP) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none">Temporary grass seed covered with straw or other mulches and tackifiersHydroseedingRollled erosion control products with or without temporary grass seedAppropriately applied straw or other mulchPlastic sheeting	<ul style="list-style-type: none">Permanent grass seed covered with straw or other mulches and tackifiersGeotextile fabrics such as permanent soil reinforcement mattingHydroseedingShrubs or other permanent plantings covered with mulchUniform and evenly distributed ground cover sufficient to restrain erosionStructural methods such as concrete, asphalt or retaining wallsRollled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

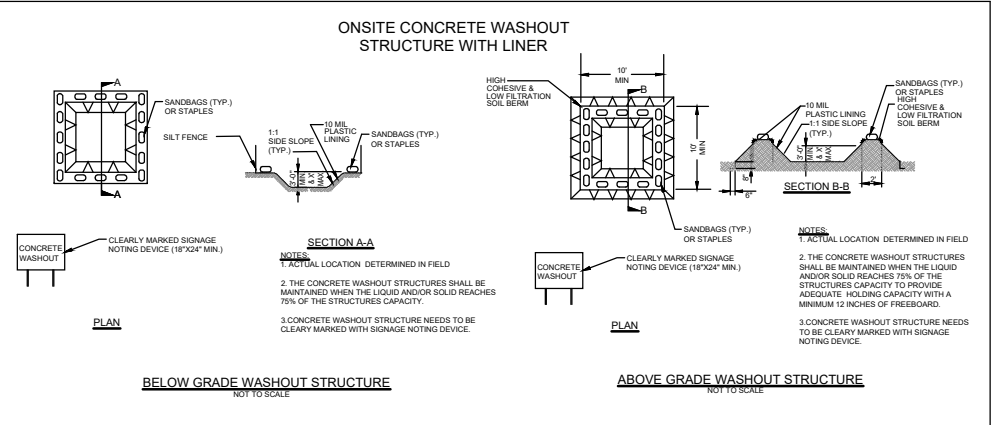
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part II, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation

In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that must be reported

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.If the stream is named on the NC 303(c) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none">A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(i)(7)]	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6)].Division staff may waive the requirement for a written report on a case-by-case basis.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #:

WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT #:

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT:

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

Trinity Express Tire and Service
APPROVED 12/6/21
SWP 2021047
JW, ES, BM, CW, MB

APPROVED
By waltonj at 11:09 am, Dec 06, 2021



NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

REVISIONS:	09/10/21
REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 07/09/21	12/03/21
REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 11/19/21	

CLIENT INFORMATION:

TRINITY EXPRESS COASTAL, LLC
5508 MIDDLETON ROAD
DURHAM, NC 27713

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6766 (F)
NC License #: C-2546

GENERAL NOTES

3542 SOUTH COLLEGE ROAD
WILMINGTON
NORTH CAROLINA

PROJECT STATUS

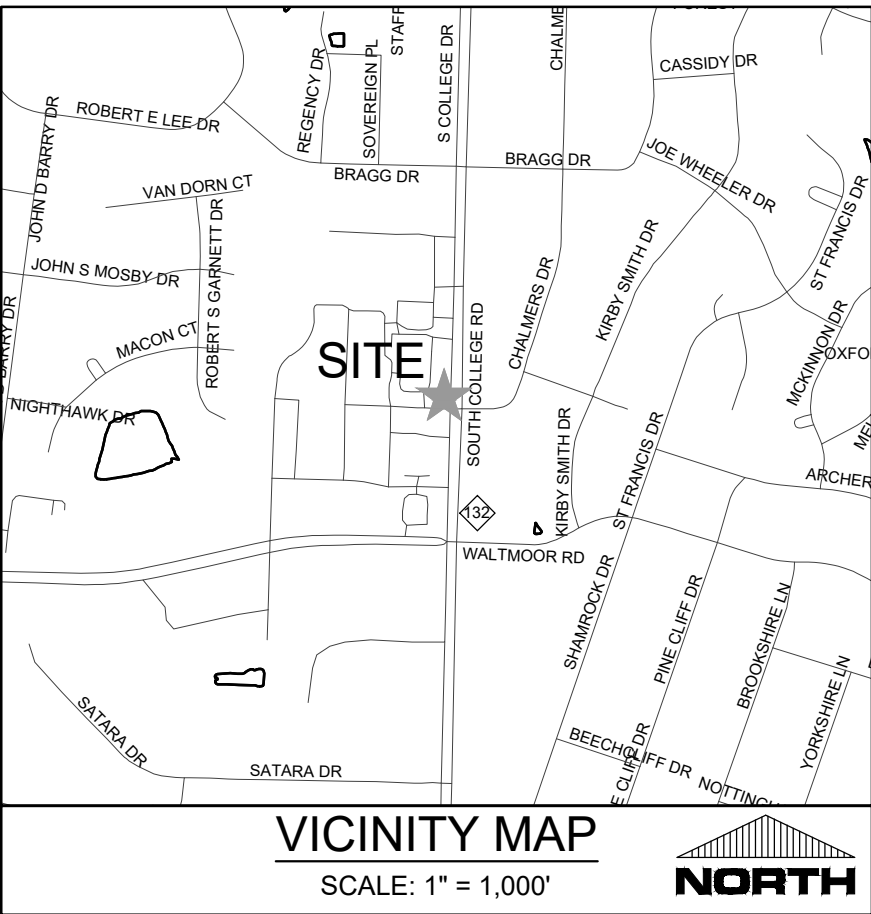
CONCEPTUAL LAYOUT:
FINAL DESIGN:
RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION

DATE: 12/03/21
SCALE: N.T.S.
DRAWN BY: JWB
CHECKED: RPB

C-1.1

PEI JOB#: 21159.PE



SITE DATA
PARCEL ID: R06600-001-026-00
PARCEL OWNERSHIP: RAINY DAYS INC.
PO BOX 3274
TOPSAIL BEACH, NC 28445

PROJECT NAME: TRINITY EXPRESS
SITE ADDRESS: 3542 S. COLLEGE ROAD
WILMINGTON, NC 28403
PROJECT DEED/BOOK: 006396 / 001451
SITE AREA: 0.417 ACRES / 18,172 SF
ZONED: CB-COMMUNITY BUSINESS
JURISDICTION: CITY OF WILMINGTON

BUILDING CONSTRUCTION TYPE: TYPE IIB
NUMBER OF BUILDINGS: 1
NUMBER OF UNITS: NONE / 100% COMMERCIAL USE
NUMBER OF STORIES: 1-STORY / 5,360 SF
WITH 705 SF LOWER LEVEL "SERVICE PIT"

FLOOD INFORMATION: PARCEL LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3135 MAP NUMBER 3720313500K, DATED 8/28/2018
CONSERVATION RESOURCES: NONE
CAMA LAND USE CLASSIFICATION: URBAN
SPECIAL OR OVERLAY DISTRICT NOTE: NONE

DIMENSION REQUIREMENTS	REQUIRED	PROVIDED (SEE PLAN)
MINIMUM LOT AREA:	0.50 ACRES	0.417 / 18,172 SF (EXISTING)
MINIMUM LOT WIDTH:	80 FEET	81.67'
MAXIMUM LOT COVERAGE:	30%	29.49%
MINIMUM FRONT SETBACK:	20 FEET	75 FEET
MINIMUM REAR SETBACK:	10 FEET	67 FEET
MINIMUM SIDE SETBACK:	0 FEET	0 FEET & 6 FEET
MINIMUM CORNER SIDE SETBACK:	20 FEET	N/A
MAXIMUM BUILDING HEIGHT:	45 FEET	20' FEET (EXISTING)

BUILDING USE
EXISTING USE: DRY CLEANER
PROPOSED USES: TIRE SERVICE CENTER

PROPOSED BUILDING FOOTPRINT: 5,360 SF

BUILDING (GFA): 5,360 SF (GROUND FLOOR)
705 SF SERVICE PIT (LOWER LEVEL)
6,065 SF TOTAL

PARKING
REQUIRED MINIMUM: 1 PER 600 SF GFA MAX (6,065/600 = 10.1 SPACES)
PROVIDED: 12 SPACES
INCLUDING:
1 ACCESSIBLE SPACE
2 COMPACT SPACES (20%)

BIKE PARKING: 5 SPACES REQUIRED & PROVIDED (SEE PLAN)

LOADING SPACES: PROPOSED USE DOES NOT HANDLE GOODS IN QUANTITY AND IS LESS THAN 19,999 SF - NO OFF STREET LOADING SPACES REQUIRED

STREETYARD CALCULATIONS
REQUIRED: FRONTAGE LF X 18 = STREETYARD
82LF X 18 = 1476SF

EXPANSION EXCEPTION: 1/2 THE REQUIRED WIDTH
1476 / 2 = 738 SF REQUIRED

PROVIDED: 865 SF

- TRC FIRE & SAFETY NOTES**
- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 - LANDSCAPE OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
 - ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 - CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT THE EXISTING EMERGENCY RESPONDER RADIO LEVELS MEET SECTION 510 REQUIREMENT OF THE 2018 NC FIRE CODE.
 - NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
 - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

EXTERIOR LIGHTING
EXTERIOR LIGHTING SHALL REMAIN OR BE MODIFIED AS REQUIRED TO MEET THE ORDINANCE FOR THIS USE AND ZONE.

IF REQUIRED, LIGHTING PLANS TO BE PREPARED AND PROVIDED PRIOR TO FINAL PROJECT ACCEPTANCE.

CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS, IF APPLICABLE

IMPERVIOUS INFORMATION	
EXISTING IMPERVIOUS AREA	4,069 SF
BUILDING	943 SF
CONCRETE & SIDEWALKS	9,898 SF
ON-SITE PARKING/VEHICULAR USE AREA	14,910 SF
EXISTING % IMPERVIOUS AREA	82.05%
EXISTING IMPERVIOUS SURFACE TO BE REMOVED	3,560 SF
EXISTING IMPERVIOUS SURFACE TO REMAIN	11,350 SF
PROPOSED IMPERVIOUS AREA	1,292 SF
BUILDING	360 SF
CONCRETE & SIDEWALKS	333 SF
DUMPSTER PAD	1,397 SF
ON-SITE PARKING/VEHICULAR USE AREA	3,412 SF
TOTAL PROPOSED IMP. AREA	14,762 SF
TOTAL ONSITE IMPERVIOUS SURFACE AFTER CONSTRUCTION	81.23%
PROPOSED % IMPERVIOUS AREA	
REDUCTION OF IMPERVIOUS AREA +/-	148SF

DISTURBED AREA
SITE AREA: 0.417 ACRES
DISTURBED AREA: +/- 0.30 ACRES

WETLANDS AND CAMA INFORMATION
NO WETLANDS EXIST ON SITE
NO 100-YEAR FLOOD BOUNDARY EXISTS ON SITE
THERE ARE NO SURFACE WATERS ON SITE
THERE ARE NO CAMA AREAS OF CONCERN ON SITE

HISTORICAL & ARCHAEOLOGY NOTES
NO KNOWN HISTORIC OR ARCHEOLOGICAL SITES EXIST THE SUBJECT PARCEL

UTILITY NOTES
EXISTING UTILITY CONNECTIONS SHALL REMAIN IN PLACE

TRIP GENERATION	
TO SERVICE BAYS	400
WEEKDAY DAILY TRIPS:	30
WEEKDAY AM PEAK TRIPS:	52
WEEKDAY PM PEAK TRIPS:	

KEY NOTES:

- CONCRETE SIDEWALK:
DEMO EXISTING CONCRETE
AND REPLACE AS SHOWN
REFER TO DETAILS
- CONCRETE WHEELSTOP:
REFER TO DETAILS
- ACCESSIBLE PARKING SPACE
REFER TO DETAILS
- DEMO EXISTING ACCESSIBLE RAMP
PROVIDE NEW ADA PARKING, RAMP
AND MARKINGS - REFER TO
DETAILS
- ACCESSIBLE RAMP:
REFER TO DETAILS
- MEET EXISTING IMPROVEMENTS TRUE
& FLUSH:
SAW CUT EXISTING IMPROVEMENTS TO
PROVIDE CLEAN, STRAIGHT EDGE FOR
PROPOSED IMPROVEMENTS TO ABUT
TRUE AND FLUSH
- CONCRETE CURB AND GUTTER:
REFER TO DETAILS
- EXISTING CONCRETE CURB AND GUTTER:
TO REMAIN AND PROTECT IN PLACE
- EXISTING DRIVEWAY AT GARAGE
DOORS:
EXISTING DRIVEWAY AND GARAGE
DOORS TO REMAIN AND PROTECT
IN PLACE (NO CHANGE IN USE)
- EXISTING STORM DRAIN LINE:
TO REMAIN AND PROTECT IN PLACE
- EXISTING WATER LINE:
TO REMAIN AND PROTECT IN PLACE
- EXISTING GAS LINE:
TO REMAIN AND PROTECT IN PLACE
- EXISTING UTILITIES:
HVAC, TRANSFORMER, METERS, ETC.
TO REMAIN AND PROTECT IN PLACE
- DEMO EXISTING CONCRETE
SIDEWALK:
CONVERT TO LANDSCAPE AREA
- HEAVY-DUTY CONCRETE:
REFER TO DETAILS
- EXISTING FIRE HYDRANT:
TO REMAIN AND PROTECT IN PLACE

SUPPLEMENTAL DEVELOPMENT REGULATIONS

NOTE: TIRE DEALERS AND SERVICE SHALL COMPLY WITH THE FOLLOWING:

- ALL PERMANENT STORAGE OF MATERIALS, MERCHANDISE AND LUBRICATION, REPAIR AND SERVICING EQUIPMENT SHALL BE WITHIN THE PRINCIPAL BUILDING.
 - ALL REPAIR WORK SHALL BE CONDUCTED WITHIN THE PRINCIPAL BUILDING.
 - NO OPERATOR SHALL PERMIT THE STORAGE OF MOTOR VEHICLES FOR A CONTINUOUS PERIOD IN EXCESS OF TWENTY-FOUR (24) HOURS UNLESS THE VEHICLE IS ENCLOSED IN THE PRINCIPAL BUILDING.
 - ACCESSORY BUILDINGS ARE PROHIBITED.
 - AUTOMOTIVE WRECKERS OR OTHER SERVICE VEHICLES SHALL BE STORED INSIDE THE PRINCIPAL BUILDING AFTER BUSINESS HOURS.
 - WRECKERS AND SERVICE OR CUSTOMER VEHICLES SHALL BE PARKED ON THE PREMISES IN A MANNER WHICH WILL NOT CREATE TRAFFIC HAZARDS OR INTERFERE WITH VEHICULAR MANEUVERING AREAS NECESSARY FOR SERVICE BAYS, REQUIRED OFF-STREET PARKING SPACES OR ACCESS TO TRASH STORAGE FACILITIES.
 - NO OPERATOR SHALL USE THE PREMISES FOR THE SALE OR RENTAL OF NEW OR USED VEHICLES.
- FOUNDATION DRAIN:**
85 LF 4"Ø STORM DRAIN LINE @ 1.0% SLOPE MIN.
- CLEAN OUT:**
CLEAN OUT WITH CONNECTION FROM SUMP PUMP
RIM = 47.04'
INV. = 45.10' 4"Ø

NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)

City of Wilmington
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

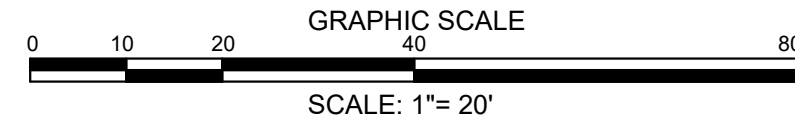
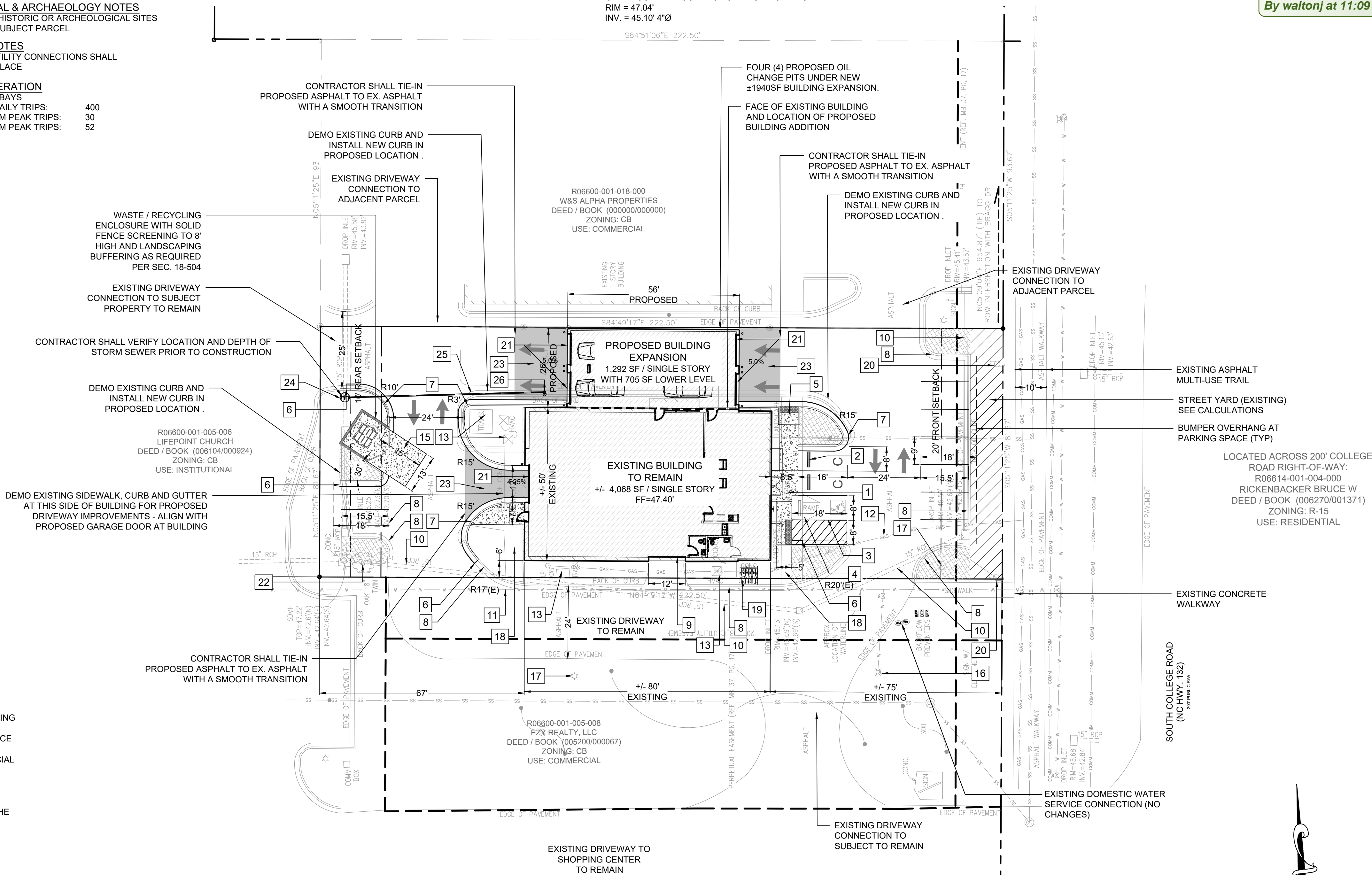
Signed: _____

Trinity Express Tire and Service
APPROVED 12/6/21
SWP 2021047
JW, ES, BM, CW, MB

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

PLAN SYMBOLS LEGEND			
	PARKING LOT PLANTING		STREET YARD (SEE CALCS.)
	CONCRETE SIDEWALKS AND DRIVE APRONS		COMPACT PARKING SPACE 8' X 16' 2 SPACES TOTAL (16% OF TOTAL)

APPROVED
By waltonj at 11:09 am, Dec 06, 2021



FINAL DESIGN - NOT ISSUED FOR CONSTRUCTION

REVISIONS:	
REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 07/26/21	08/10/21
REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 11/15/21	12/03/21

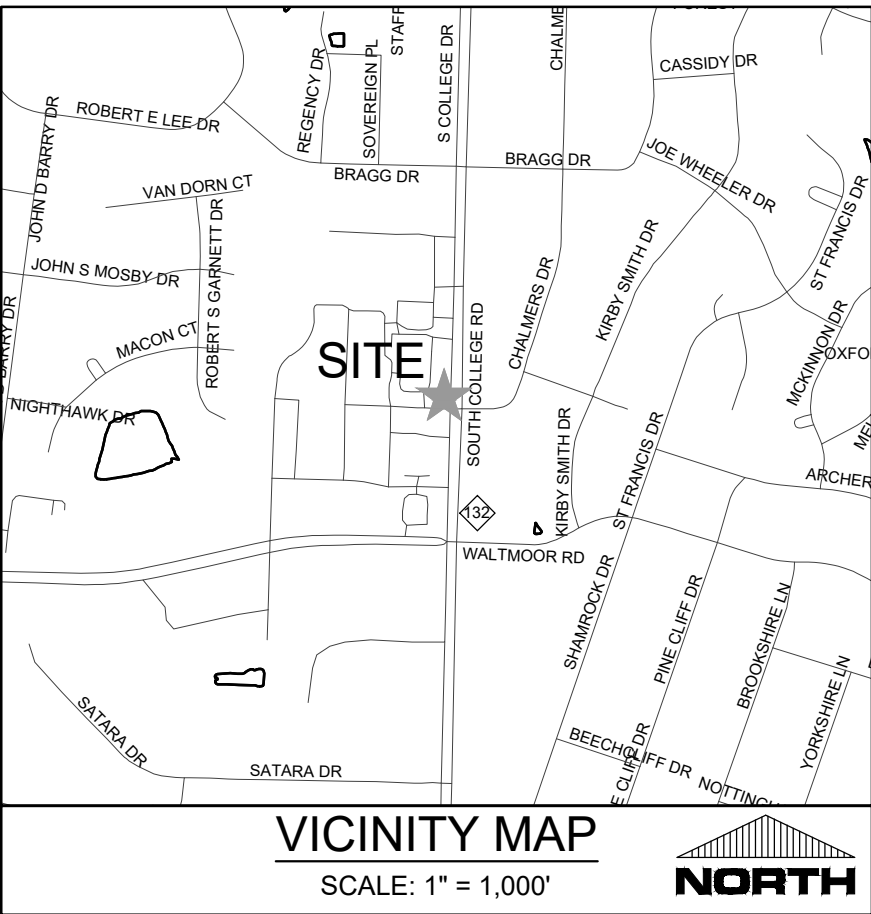
CLIENT INFORMATION:
TRINITY EXPRESS COASTAL, LLC
5508 MIDDLETON ROAD
DURHAM, NC 27713

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License # C-2846

SITE & UTILITY PLAN
3542 SOUTH COLLEGE ROAD
WILMINGTON
NORTH CAROLINA

PROJECT STATUS CONCEPTUAL LAYOUT: FINAL DESIGN: RELEASED FOR CONSTRUCTION:	DRAWING INFORMATION DATE: 12/06/21 SCALE: 1" = 20' DRAWN: JWB CHECKED: RBE
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C-2.0
PEI JOB#: 21159.PE



SITE DATA
PARCEL ID: R06600-001-026-00
PARCEL OWNERSHIP: RAINY DAYS INC.
PO BOX 3274
TOPSAIL BEACH, NC 28445

PROJECT NAME: TRINITY EXPRESS
SITE ADDRESS: 3542 S. COLLEGE ROAD
WILMINGTON, NC 28403
PROJECT DEED/BOOK: 006396 / 001451
SITE AREA: 0.417 ACRES / 18,172 SF
ZONED: CB-COMMUNITY BUSINESS
JURISDICTION: CITY OF WILMINGTON

FLOOD INFORMATION: PARCEL LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3135 MAP NUMBER 3720313500K, DATED 8/28/2018

CONSERVATION RESOURCES: NONE
CAMA LAND USE CLASSIFICATION: URBAN
SPECIAL OR OVERLAY DISTRICT NOTE: NONE

DIMENSION REQUIREMENTS	REQUIRED	PROVIDED (SEE PLAN)
MINIMUM LOT AREA:	0.50 ACRES	0.417 / 18,172 SF (EXISTING)
MINIMUM LOT WIDTH:	80 FEET	81.67'
MAXIMUM LOT COVERAGE:	30%	29.49%
MINIMUM FRONT SETBACK:	20 FEET	75 FEET
MINIMUM REAR SETBACK:	10 FEET	67 FEET
MINIMUM SIDE SETBACK:	0 FEET	0 FEET & 6 FEET
MINIMUM CORNER SIDE SETBACK:	20 FEET	N/A
MAXIMUM BUILDING HEIGHT:	45 FEET	20' FEET (EXISTING)

BUILDING USE
EXISTING USE: DRY CLEANER
PROPOSED USES: TIRE SERVICE CENTER

NOTES:
ACCORDING TO THE NATIONAL RESOURCES CONSERVATION SERVICE (NRCS), THE SOILS ACROSS THE SITE CONSIST OF:

LEON SAND	~77%
MURVILLE FINE SAND	~23%

IMPERVIOUS INFORMATION
EXISTING IMPERVIOUS AREA
BUILDING 4,069 SF
CONCRETE & SIDEWALKS 943 SF
ON-SITE PARKING/VEHICULAR USE AREA 9,898 SF
TOTAL EXISTING IMPERVIOUS AREA 14,910 SF
EXISTING % IMPERVIOUS AREA 82.05%

DISTURBED AREA
SITE AREA: 0.417 ACRES
DISTURBED AREA: +/- 0.30 ACRES

WETLANDS AND CAMA INFORMATION
NO WETLANDS EXIST ON SITE
NO 100-YEAR FLOOD BOUNDARY EXISTS ON SITE
THERE ARE NO SURFACE WATERS ON SITE
THERE ARE NO CAMA AREAS OF CONCERN ON SITE

HISTORICAL & ARCHAEOLOGY NOTES
NO KNOWN HISTORIC OR ARCHAEOLOGICAL SITES
EXIST THE SUBJECT PARCEL

UTILITY NOTES
EXISTING UTILITY CONNECTIONS SHALL
REMAIN IN PLACE

KEY NOTES:

- 1 CONCRETE SIDEWALK:
- 2 EXISTING CONCRETE SIDEWALK TO BE REMOVED:
- 3 EXISTING ACCESSIBLE RAMP TO BE RELOCATED
- 4 EXISTING CONCRETE CURB AND GUTTER: TO REMAIN AND PROTECT IN PLACE
- 5 EXISTING DRIVEWAY AT GARAGE DOORS: EXISTING DRIVEWAY AND GARAGE DOORS TO REMAIN AND PROTECT IN PLACE (NO CHANGE IN USE)
- 6 EXISTING STORM DRAIN LINE: TO REMAIN AND PROTECT IN PLACE
- 7 EXISTING WATER LINE: TO REMAIN AND PROTECT IN PLACE
- 8 EXISTING GAS LINE: TO REMAIN AND PROTECT IN PLACE
- 9 EXISTING UTILITIES: HVAC, TRANSFORMER, METERS, ETC. TO REMAIN AND PROTECT IN PLACE
- 10 EXISTING FIRE HYDRANT: TO REMAIN AND PROTECT IN PLACE
- 11 EXISTING PARKING LOT LIGHTING: TO REMAIN AND PROTECT IN PLACE
- 12 EXISTING UTILITY POLE:
- 13 EXISTING TREE TO REMAIN: SEE LANDSCAPE PLAN
- 14 EXISTING ASPHALT

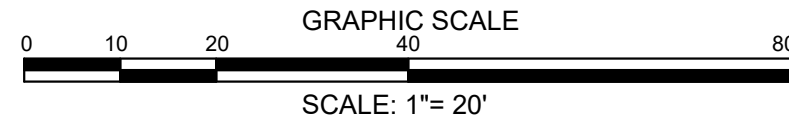
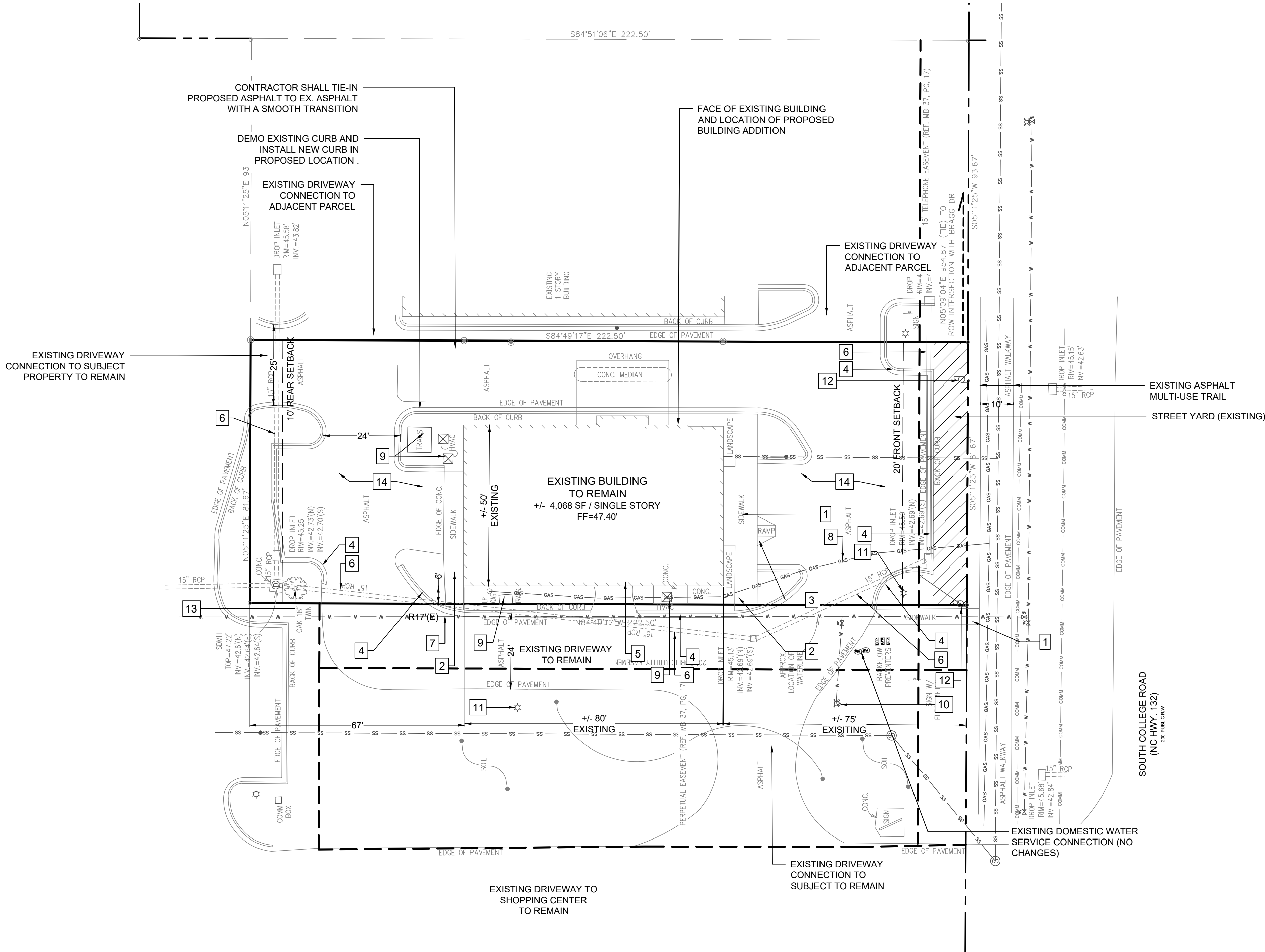
NC DENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Trinity Express Tire and Service
APPROVED 12/6/21
SWP 2021047
JW, ES, BM, CW, MB

APPROVED
By waltonj at 11:09 am, Dec 06, 2021

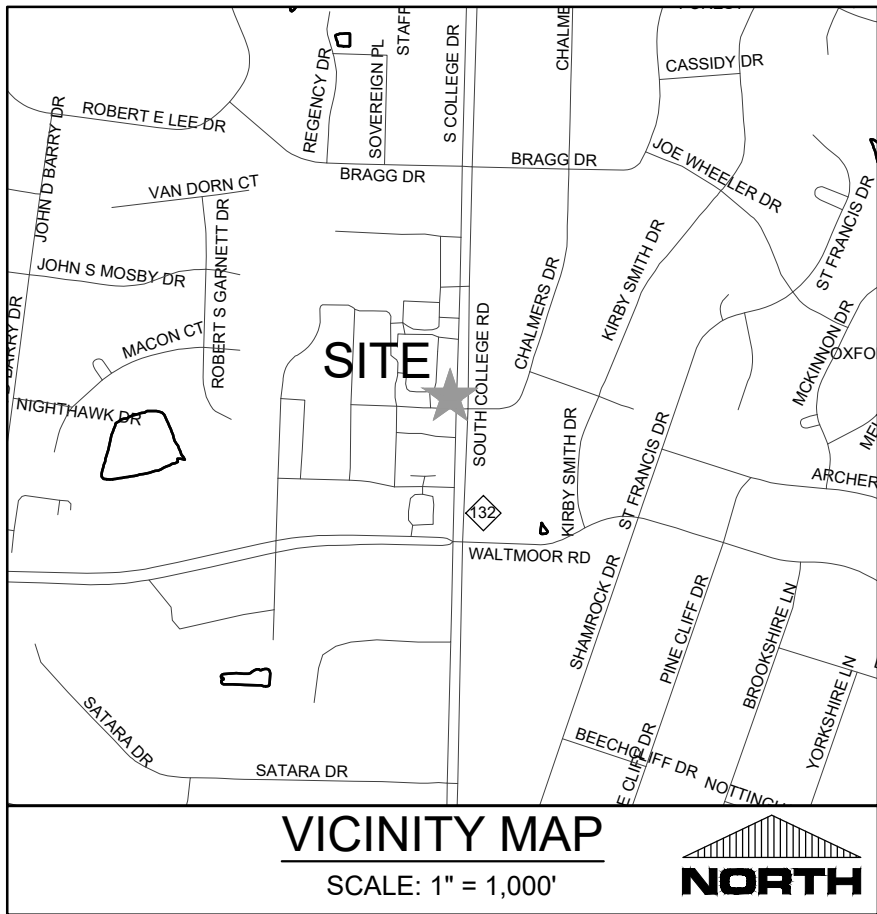
CITY OF WILMINGTON
SOUTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

PLAN SYMBOLS LEGEND
STREET YARD



FINAL DESIGN - NOT ISSUED FOR CONSTRUCTION

C-2.1	PROJECT STATUS CONCEPTUAL LAYOUT: FINAL DESIGN: RELEASED FOR CONSTRUCTION: 12/06/21	DRAWING INFORMATION DATE: 12/06/21 SCALE: 1" = 20' DRAWN: RJB CHECKED: RJB	SITE INVENTORY PLAN 3542 SOUTH COLLEGE ROAD WILMINGTON NORTH CAROLINA	ENGINEERING PARAMOUNT 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6766 (F) NC License #: C-2846	CLIENT INFORMATION: TRINITY EXPRESS COASTAL, LLC 5508 MIDDLETON ROAD DURHAM, NC 27713	REVISIONS: REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 07/06/21	09/01/21
						REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 11/15/21	12/03/21
PEI JOB#: 21159.PE							



SITE DATA
PARCEL ID: R06600-001-026-00
PARCEL OWNERSHIP: NO RAINY DAYS INC.
PO BOX 3274
TOPSAIL BEACH, NC 28445

PROJECT NAME: TRINITY EXPRESS
SITE ADDRESS: 3542 S. COLLEGE ROAD
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PROJECT DEED/BOOK: 006396 / 001451
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NUMBER OF UNITS: NONE / 100% COMMERCIAL USE
NUMBER OF STORIES: 1-STORY / 5,360 SF
WITH 705 SF LOWER LEVEL "SERVICE PIT"
6,065 SF TOTAL

FLOOD INFORMATION: PARCEL LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3135 MAP NUMBER 3720313500K, DATED 8/28/2018

CONSERVATION RESOURCES: NONE
CAMA LAND USE CLASSIFICATION: URBAN
SPECIAL OR OVERLAY DISTRICT NOTE: NONE

- GRADING NOTES:**
- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE STOCKPILE LOCATIONS ON SITE IF NOT SPECIFIED. SEE GENERAL NOTES SHEET (C-1.0, TYP.) FOR GRADING, DRAINAGE, AND EROSION CONTROL SEQUENCE NOTES AND REQUIREMENTS. IN ADDITION, REFERENCE TECHNICAL SPECIFICATIONS AND DETAIL SHEETS FOR MORE INFORMATION.
 - SEE GRADING AND DRAINAGE PLANS FOR FINISH GRADES AND STORM PIPE SCHEDULE.
 - A GEOTECHNICAL ENGINEER OR INSPECTORS SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION PER EARTHWORK SPECIFICATIONS IN FILL AREAS.

- ASPHALT AREA NOTE:**
- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND/OR TECHNICAL SPECIFICATIONS.

- BUILDING PAD NOTE:**
- SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND/OR TECHNICAL SPECIFICATIONS.

- DRAINAGE NOTES:**
- DRAINAGE EASEMENTS AND THE STORM DRAINAGE INSIDE THE EASEMENT IS THE RESPONSIBILITY OF THE CITY OF WILMINGTON.
 - ALL IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM UNLESS THE APPROVED PLANS SHOW OTHERWISE.
 - NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.
 - ALL PUBLIC STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM. PRIVATE DRAINAGE SYSTEMS SHALL BE PER APPROVED PLANS AND SPECIFICATIONS.
 - ALL CURB INLET (C) RIM ELEVATIONS ARE LISTED AS THE "GUTTER OF FLOWLINE ELEVATION" WITHIN THE CURB SECTION. THE CURB INLET RIM ELEVATION SHALL BE 3/4 INCHES BELOW EDGE OF PAVEMENT (EOP) PER NCDOT DETAILS. FOR DROP INLETS, THE RIM ELEVATION IS LISTED AS THE CENTER OF GRATE FOR DROP INLETS. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE STORM INLETS WITHIN THE CURB-LINE.
 - MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 3-6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA; AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
 - PROPOSED BUILDINGS SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM. SEE CIVIL OR ARCHITECTURAL DETAILS FOR DOWNSPOUT DETAILS AND CONNECTIONS.
 - CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AREAS TO MATCH PROPOSED GRADES.
 - THE CONTRACTOR SHALL USE STORM PIPE PER THE SPECIFICATIONS (TYPICALLY CONCRETE OR HDPE PIPE). EITHER WAY THE CONTRACTOR SHALL FOLLOW THE TRENCH DETAILS AND SPECIFICATIONS, AND THE PIPE MANUFACTURER SPECIFICATIONS.

- AS-BUILT STORMWATER NOTE [15A NCAC 02H.1044]:**
- THE CONTRACTOR WILL EMPLOY A LAND SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA TO PROVIDE ACCURATE REPRODUCIBLE AS-BUILT DRAWINGS OF THE COLLECTION SYSTEM, AND IMPERVIOUS AREA ON THE SITE TO THE ENGINEER & OWNER UPON COMPLETION OF CONSTRUCTION. UPON CERTIFICATION BY THE ENGINEER AND VERIFICATION FROM THE OWNER ANY DISCREPANCIES WILL BE INDICATED. THEN THESE PLANS SHALL BE RETURNED TO THE CONTRACTOR FOR CORRECTION PRIOR TO FINAL PAYMENT AND FINAL INSPECTION.

- GENERAL NOTES:**
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - CONTACT TRAFFIC ENGINEERING FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY. 910-341-3258

IMPERVIOUS INFORMATION	
EXISTING IMPERVIOUS AREA	
BUILDING	4,069 SF
CONCRETE & SIDEWALKS	943 SF
ON-SITE PARKING/VEHICULAR USE AREA	9,898 SF
TOTAL EXISTING IMPERVIOUS AREA	14,910 SF
EXISTING % IMPERVIOUS AREA	82.05%
EXISTING IMPERVIOUS SURFACE TO BE REMOVED	3,560 SF
EXISTING IMPERVIOUS SURFACE TO REMAIN	11,350 SF
PROPOSED IMPERVIOUS AREA	
BUILDING	1,292 SF
CONCRETE & SIDEWALKS	390 SF
DUMPSTER PAD	333 SF
ON-SITE PARKING/VEHICULAR USE AREA	1,397 SF
TOTAL PROPOSED IMP. AREA	3,412 SF
TOTAL ONSITE IMPERVIOUS SURFACE AFTER CONSTRUCTION	14,762 SF
PROPOSED % IMPERVIOUS AREA	81.23%
REDUCTION OF IMPERVIOUS AREA +/- 148SF	

DISTURBED AREA
SITE AREA: 0.417 ACRES
DISTURBED AREA: +/- 0.30 ACRES

WETLANDS AND CAMA INFORMATION
NO WETLANDS EXIST ON SITE
NO 100-YEAR FLOOD BOUNDARY EXISTS ON SITE
THERE ARE NO SURFACE WATERS ON SITE
THERE ARE NO CAMA AREAS OF CONCERN ON SITE

SPOT GRADE LEGEND:

CB = CATCH BASIN
DCB = DOUBLE CATCH BASIN
DI = DROP INLET
DDI = DOUBLE DROP INLET
YI = YARD INLET
MH = STORM MANHOLE
CO = CLEAN OUT

TC = TOP OF CURB ELEVATION
GC = GUTTER CURB (FLOW LINE) ELEVATION
PG = PROPOSED GRADE (GROUND)
EP = EDGE OF PAVEMENT
EC = EDGE OF CONCRETE

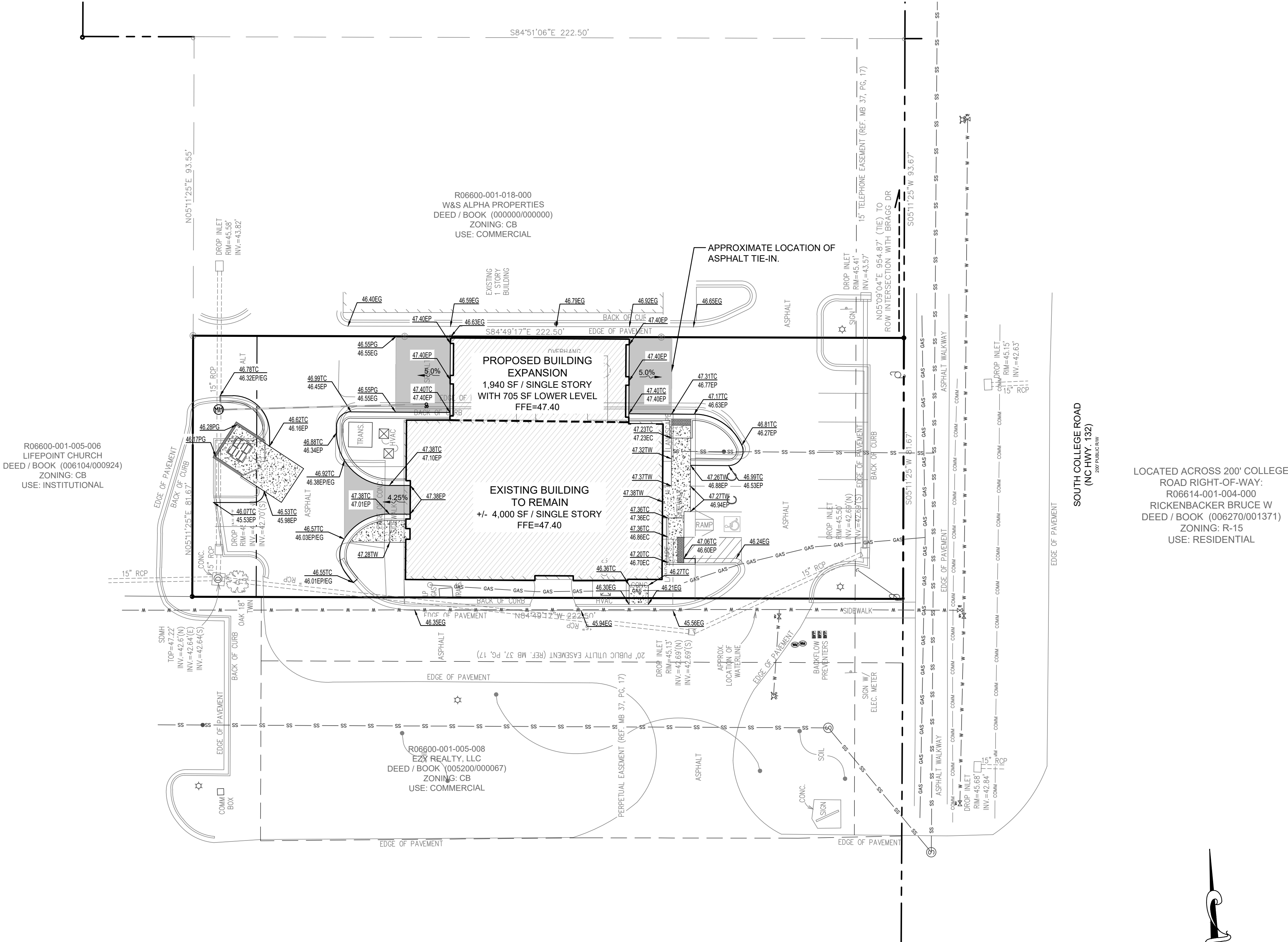
HP = HIGH POINT ELEVATION
LP = LOW POINT ELEVATION
TW = TOP OF WALK (SIDEWALK) ELEVATION
DG = DITCH GRADE ELEVATION
CL = CENTERLINE
INV = INVERT
FES = FLARED END SECTION
TWL = TOP OF WALL ELEVATION
BWL = BOTTOM OF WALL ELEVATION
(EG) = EXISTING GRADE
(XX) = EXISTING ELEVATIONS, TYP.

NCDENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)
Approved Construction Plan

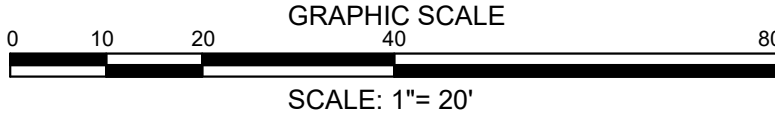
WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Trinity Express Tire and Service
APPROVED 12/6/21
SWP 2021047
JW, ES, BM, CW, MB

APPROVED
By waltonj at 11:09 am, Dec 06, 2021

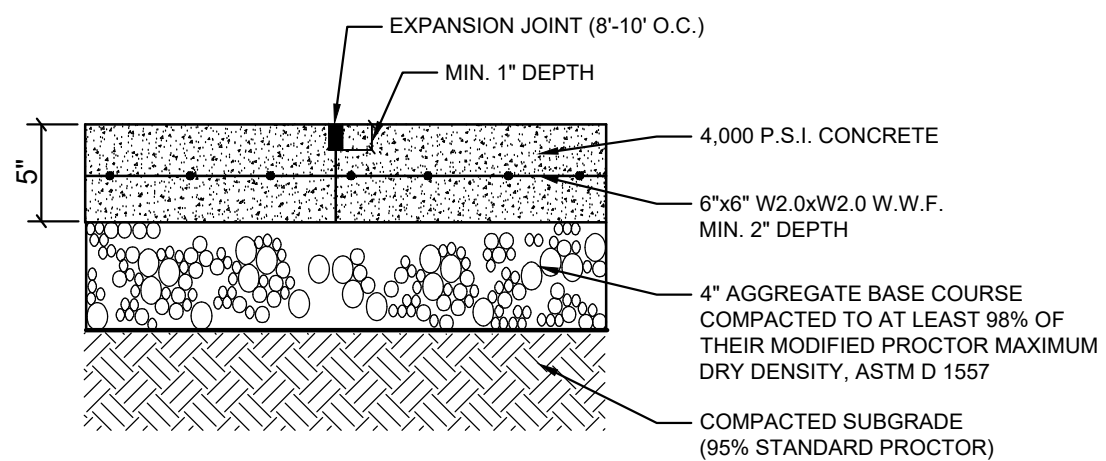


LOCATED ACROSS 200' COLLEGE ROAD RIGHT-OF-WAY:
R06614-001-004-000
RICKENBACKER BRUCE W
DEED / BOOK (006270/001371)
ZONING: R-15
USE: RESIDENTIAL

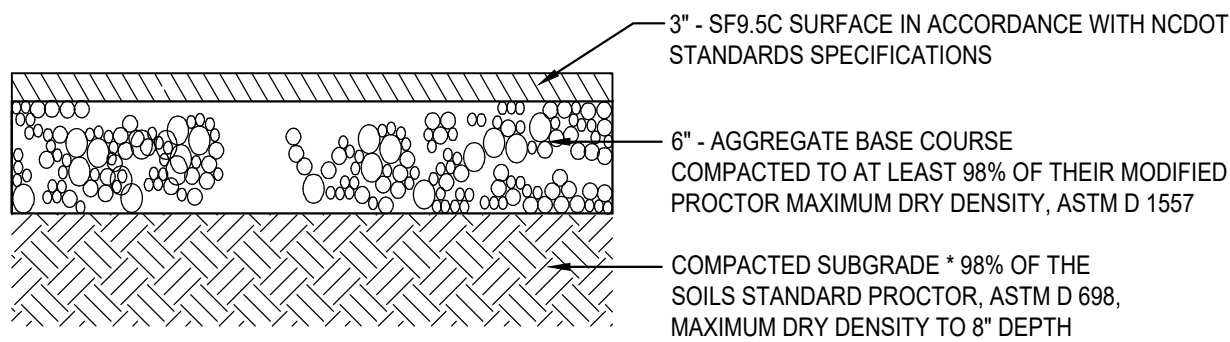


FINAL DESIGN - NOT ISSUED FOR CONSTRUCTION

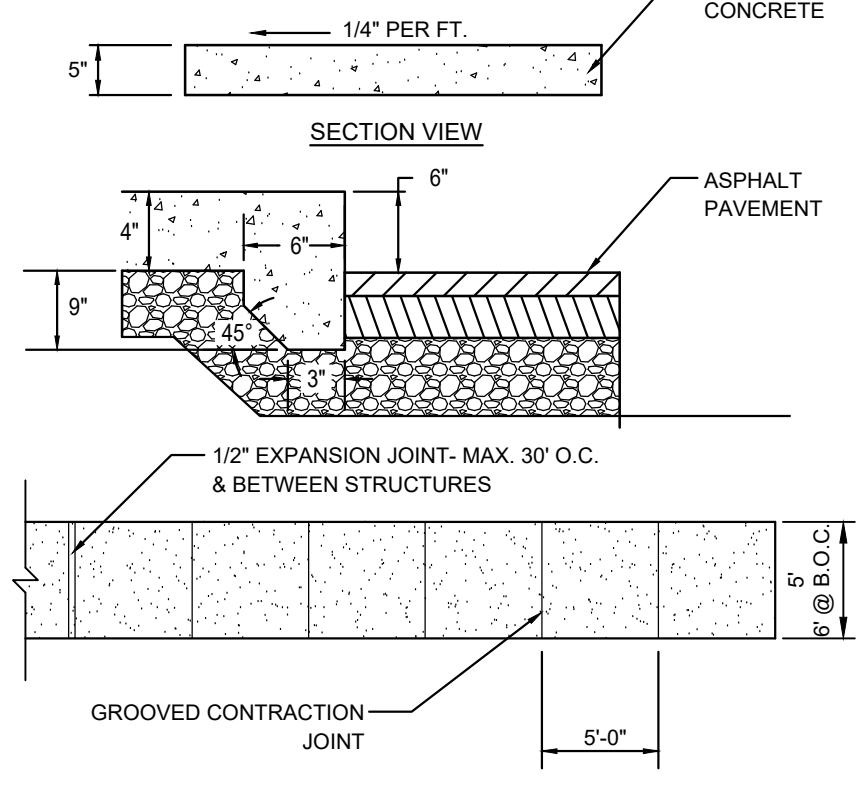
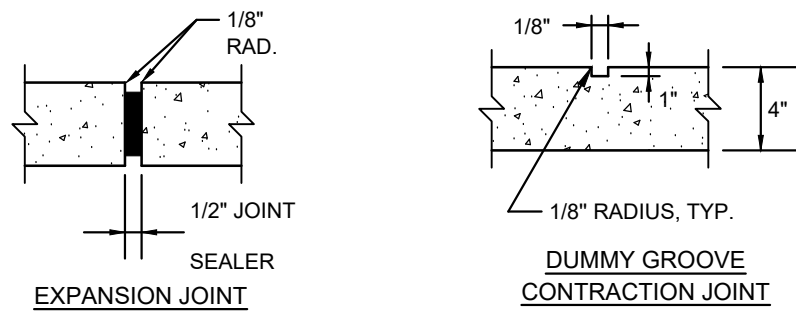
REVISIONS:	
REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 07/09/21	08/10/21
REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 11/19/21	12/03/21
CLIENT INFORMATION:	
TRINITY EXPRESS COASTAL, LLC 5508 MIDDLETON ROAD DURHAM, NC 27713	
PARAMOUNT ENGINEERING, INC. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License # C-2846	
GRADING-DRAINAGE-EC PLAN	
3542 SOUTH COLLEGE ROAD WILMINGTON NORTH CAROLINA	
PROJECT STATUS: CONCEPT LAYOUT: PRELIMINARY DESIGN: FINAL DESIGN: RELEASED FOR CONSTRUCTION:	12/06/21 1" = 20' JWB RJB RJB
C-3.0	
PEI JOB#: 21159.PE	



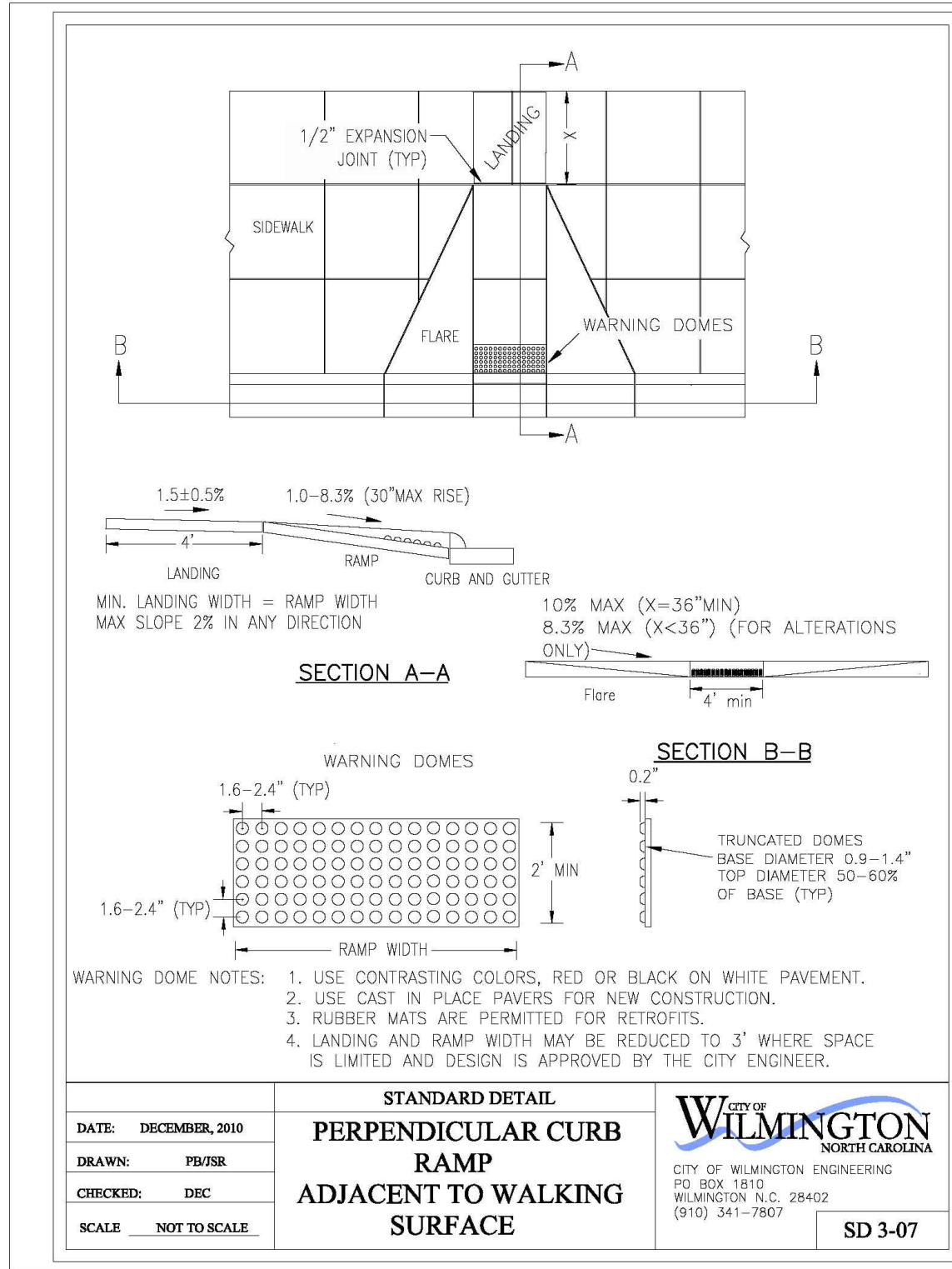
CONCRETE PAVEMENT SECTION
NOT TO SCALE



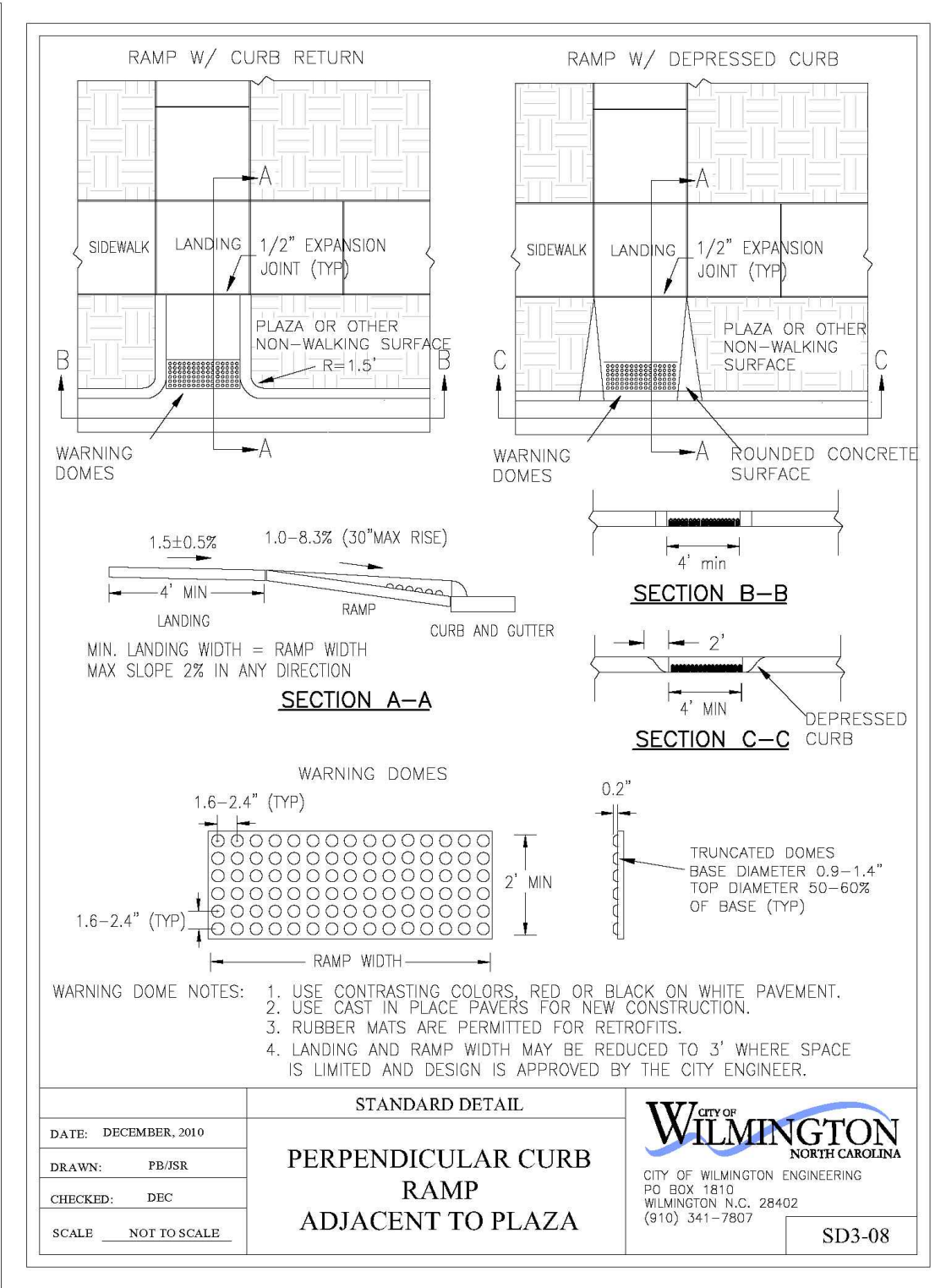
TYPICAL PAVEMENT SECTION
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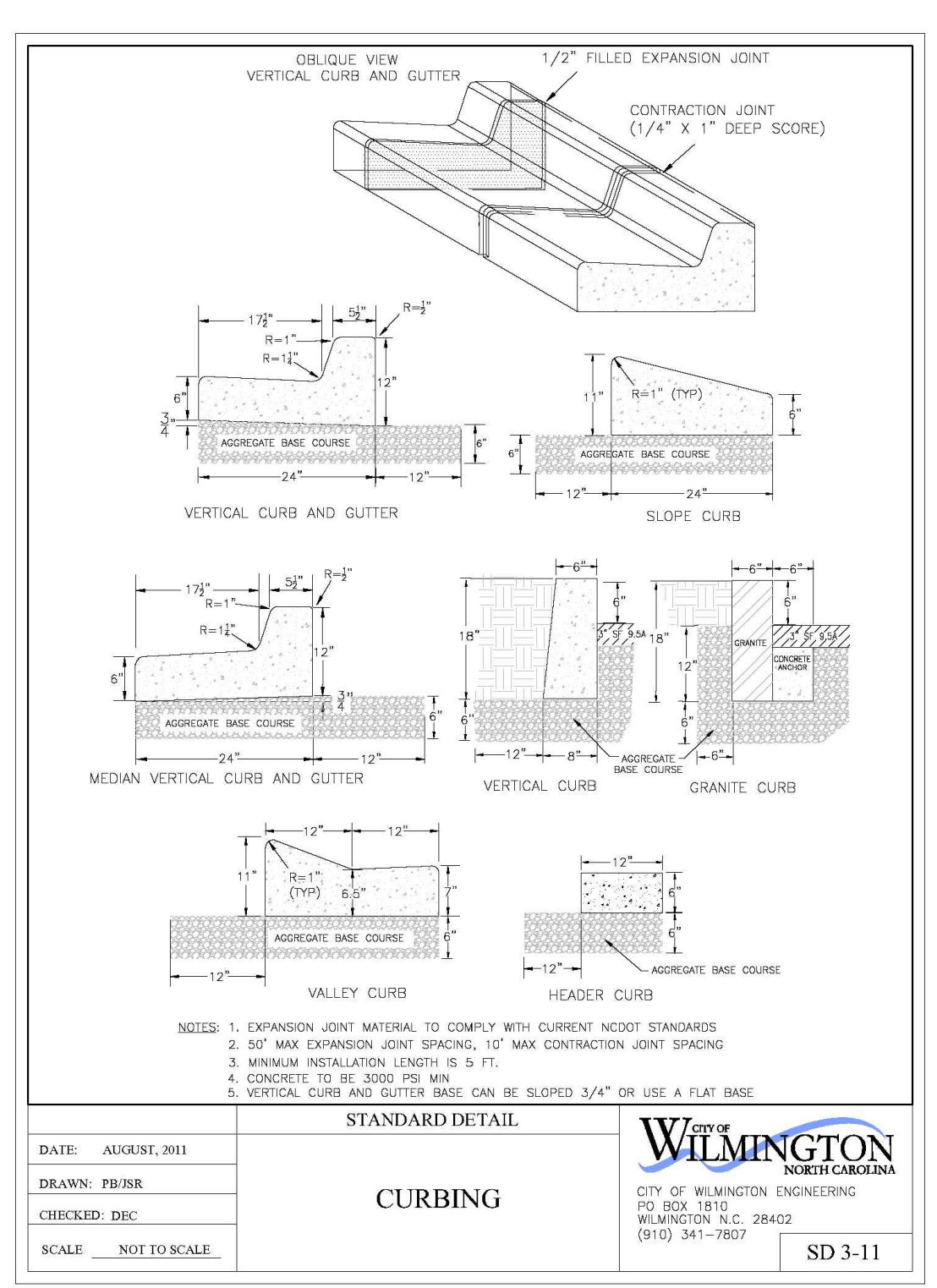
SIDEWALK DETAIL
N.T.S.



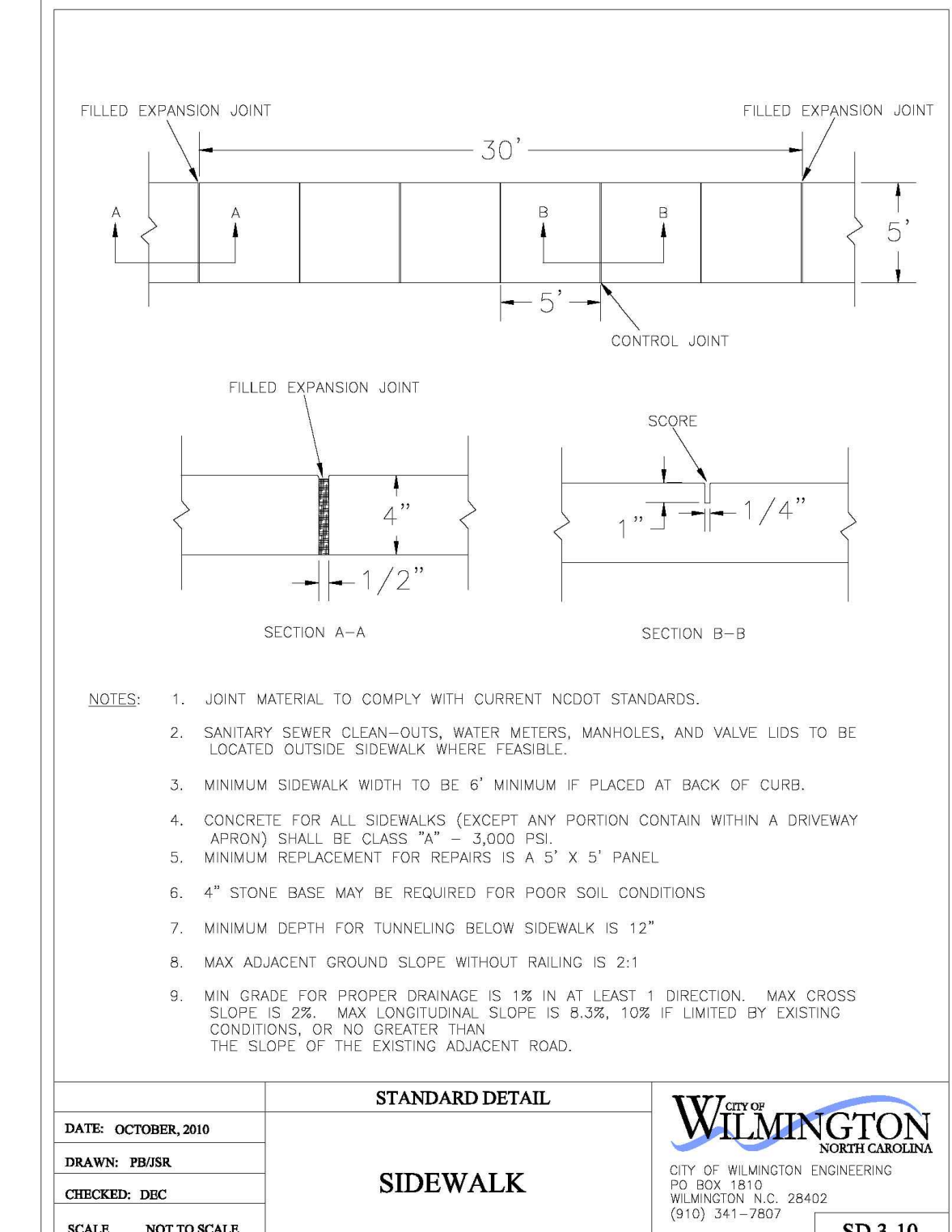
PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE
SD 3-07



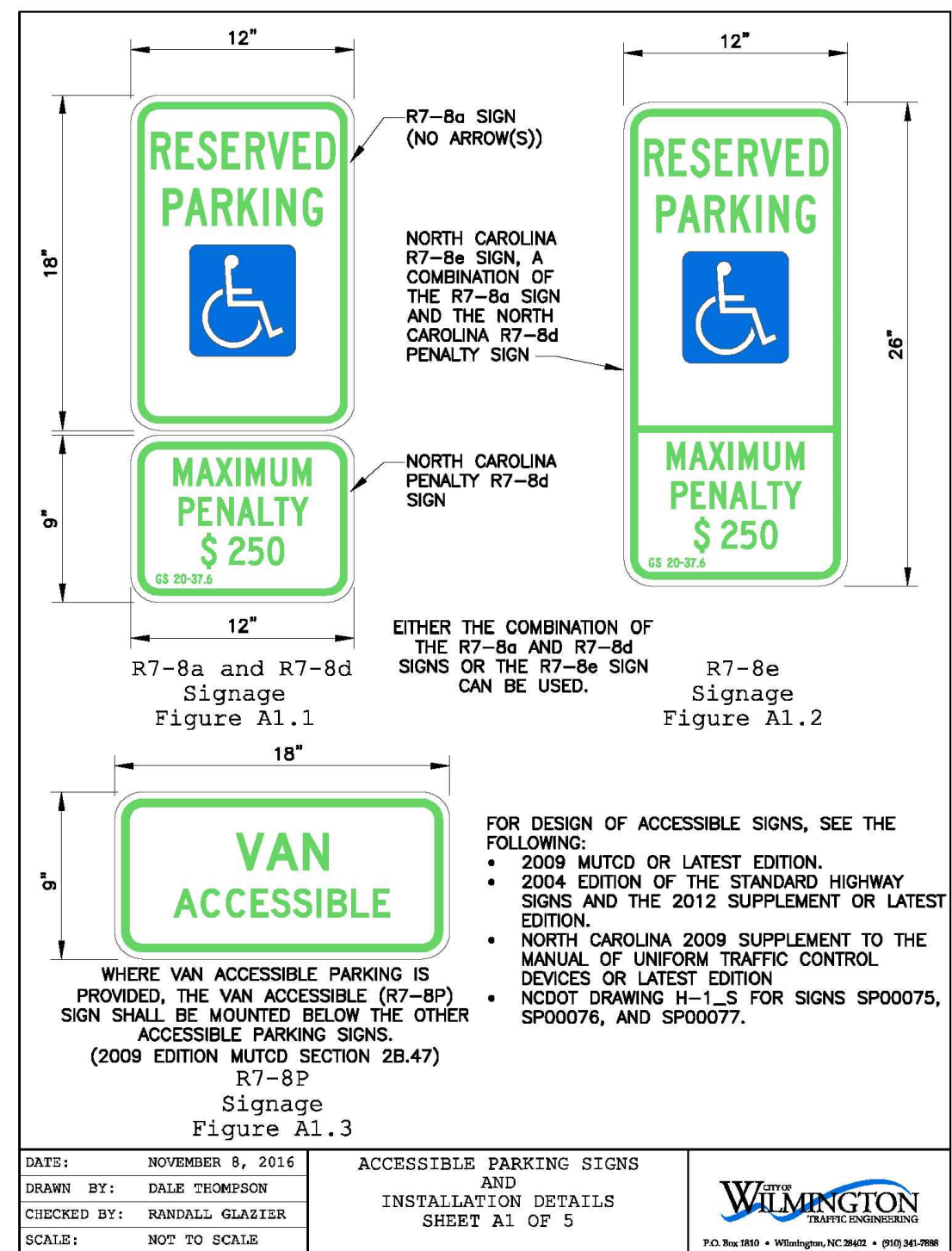
PERPENDICULAR CURB RAMP ADJACENT TO PLAZA
SD 3-08



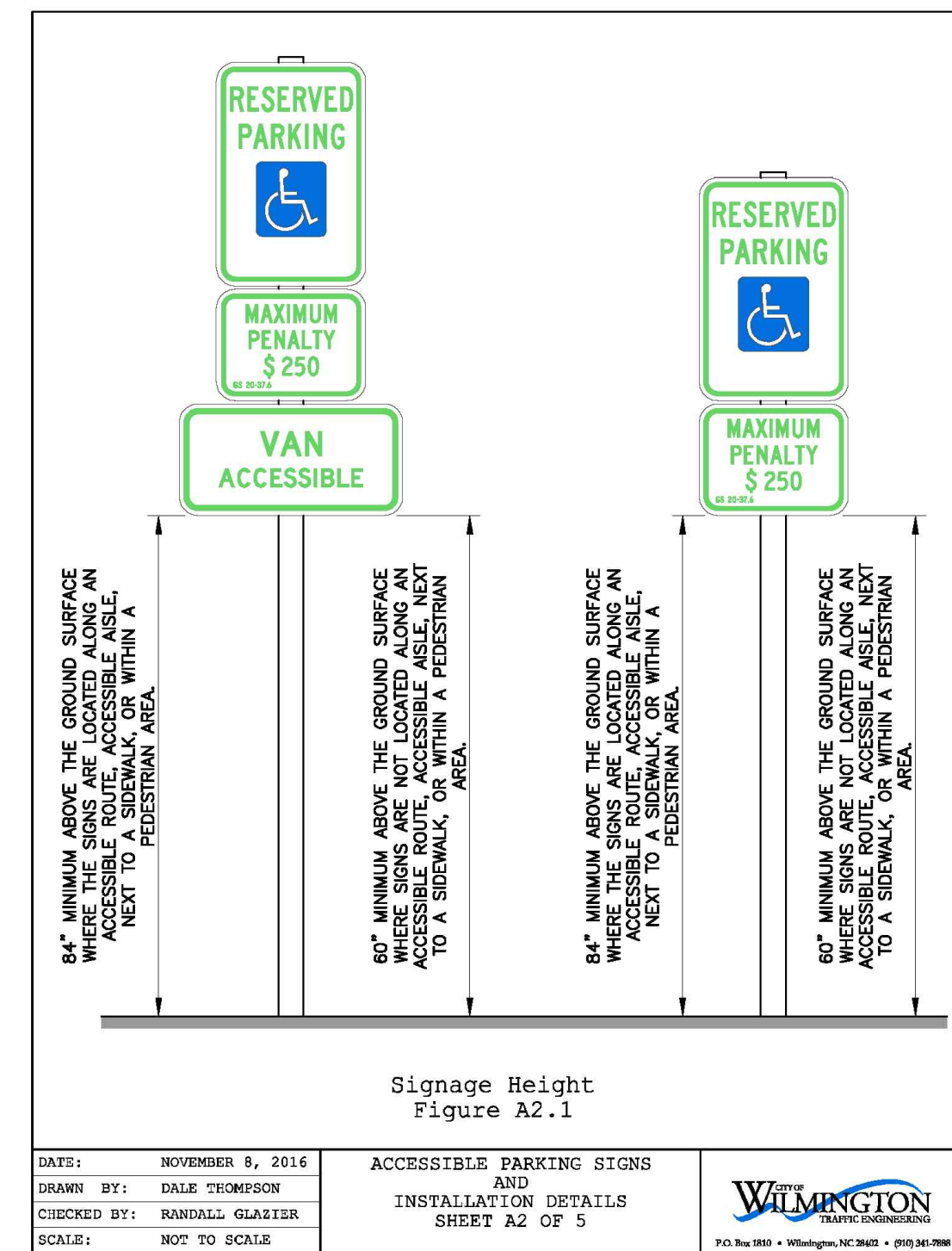
CURBING
SD 3-11



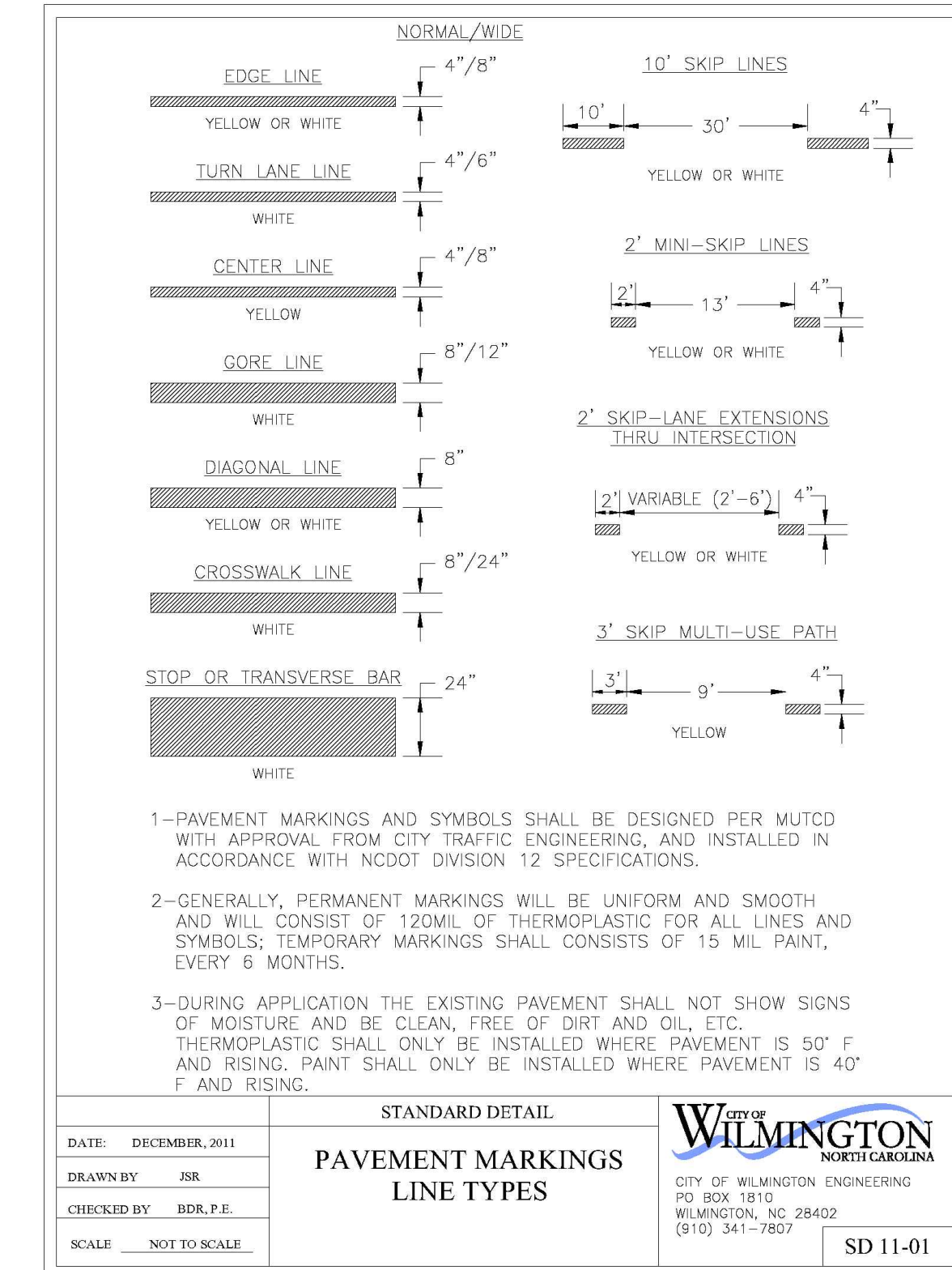
SIDEWALK
SD 3-10



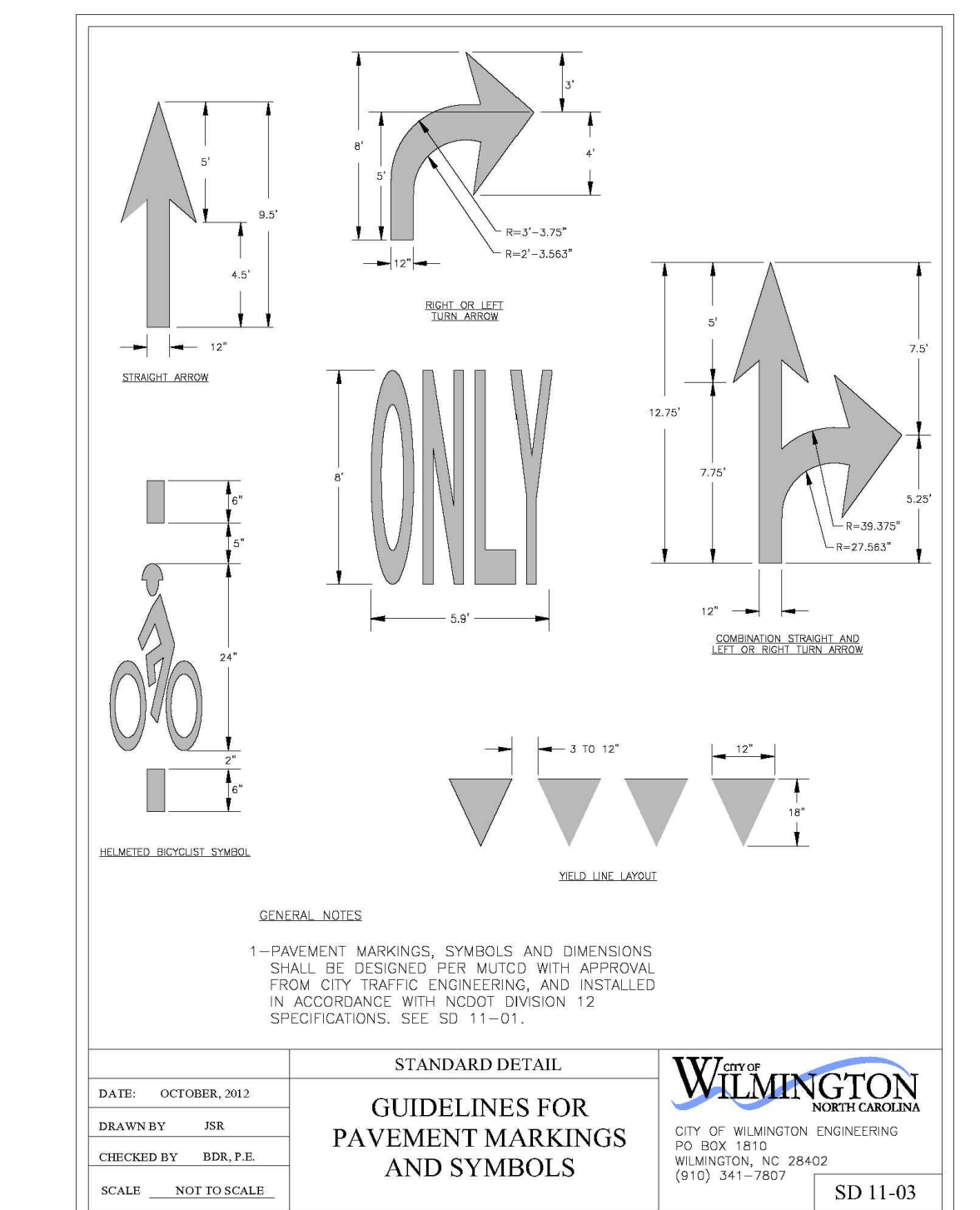
ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS
SHEET A1 OF 5



ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS
SHEET A2 OF 5



PAVEMENT MARKINGS LINE TYPES
SD 11-01



GUIDELINES FOR PAVEMENT MARKINGS AND SYMBOLS
SD 11-03

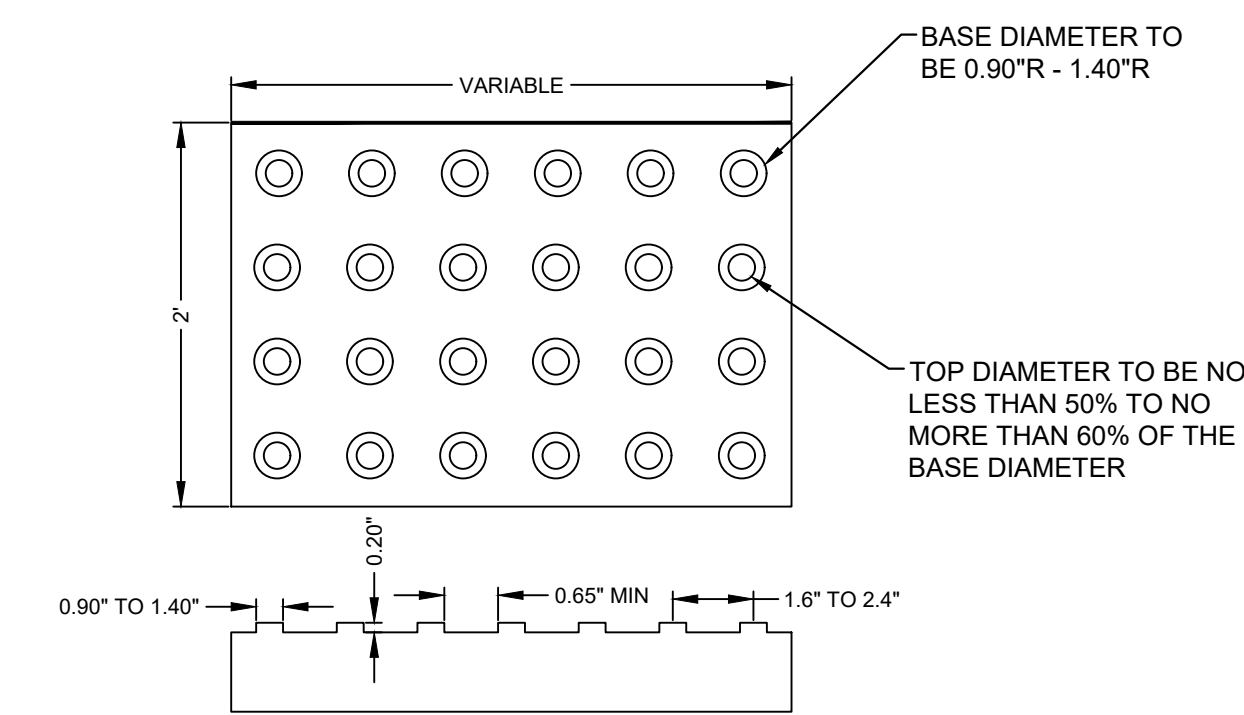
APPROVED
By waltonj at 11:09 am, Dec 06, 2021

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

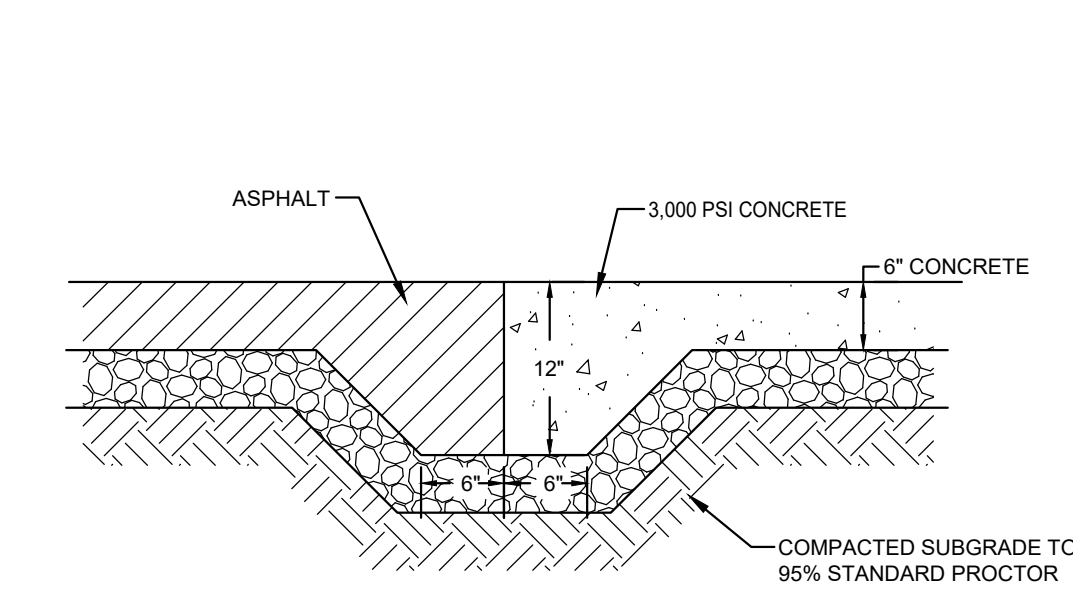


Trinity Express Tire and Service
APPROVED 12/6/21
SWP 2021047
JW, ES, BM, CW, MB

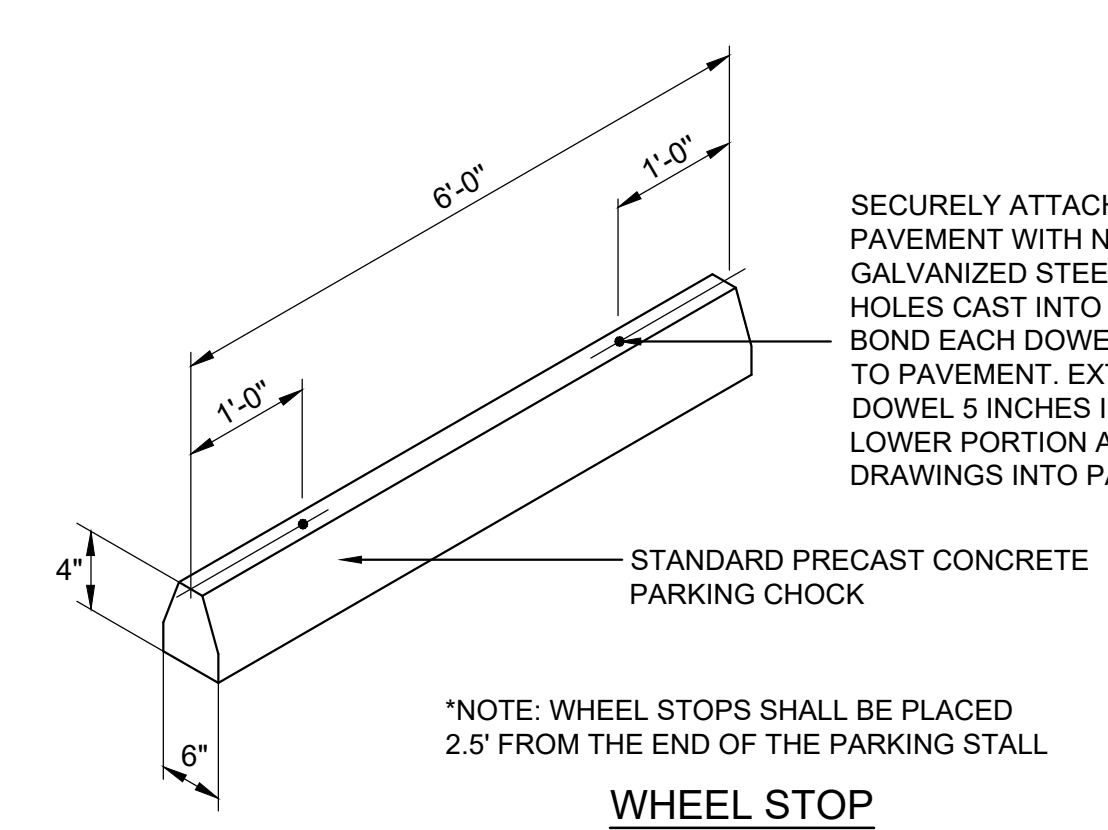
CITY OF WILMINGTON
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____



DETECTABLE WARNING MAT
NOT TO SCALE



ASPHALT TO CONCRETE PAVEMENT TRANSITION
NOT TO SCALE





WHEEL STOP
NOT TO SCALE

*NOTE: WHEEL STOPS SHALL BE PLACED 2.5' FROM THE END OF THE PARKING STALL

FINAL DESIGN - NOT ISSUED FOR CONSTRUCTION

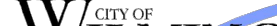
REVISIONS: REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 07/08/21 REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 11/03/21		CLIENT INFORMATION: TRINITY EXPRESS COASTAL, LLC 5508 MIDDLETON ROAD DURHAM, NC 27713	
DETAILS		PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846	
PROJECT STATUS: CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST:		DRAWING INFORMATION: DATE: 12/03/21 DRAWN BY: JRK CHECKED BY: BDR, P.E. DESIGNED BY: JRK CHECKED BY: BDR, P.E.	
C-4.0		PEI JOB#: 21159.PE	

		STANDARD DETAIL			
DATE: MAY, 2013		<h1 style="text-align: center;">PIPE TRENCH TYPICAL</h1>		CITY OF WILMINGTON	
DRAWN: JSR				ENGINEERING OFFICE	
CHECKED: BDR, P.E.				212 OPERATIONS CENTER DRIVE	
SCALE: NOT TO SCALE				WILMINGTON N.C. 28412	
				(910) 341-7807	
				SD 1-07	

		STANDARD DETAIL		 CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
DATE: 2001		PRECAST MANHOLE		
DRAWN BY JSR/CMR				
CHECKED BY B.P., P.E.				
SCALE NOT TO SCALE				
				SD 14-11

DATE: 2001		STANDARD DETAIL			
DRAWN BY JSR/CMR		STANDARD MAN-HOLE RING AND COVER		CITY OF WILMINGTON ENGINEERING	
CHECKED BY B.P., P.E.				PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807	
SCALE NOT TO SCALE				SD 14-02	

*Note: All Dandy Sacks™ can be ordered with our optional oil absorbent pillow.

		STANDARD DETAIL			
DATE: MAY, 2013		TYPICAL ROAD REBUILD		CITY OF WILMINGTON ENGINEERING	
DRAWN BY JSR				212 OPERATIONS CENTER DR.	
CHECKED BY B.R., P.E.				WILMINGTON, NC 28412	
SCALE <u>NOT TO SCALE</u>				(910) 341-7807	
				SD 1-04	

DATE: JAN, 2015 DRAWN BY: JSR CHECKED BY: RDG, P.E. SCALE: NOT TO SCALE		STANDARD DETAIL TREE PROTECTION DURING CONSTRUCTION		 CITY OF WILMINGTON ENGINEERING PC BOX 1810 WILMINGTON, NC 28402 (910) 341-7807	
		SHEET 1 of 2		SD 15-09	

DATE: JAN, 2015		<div style="text-align: center;"> STANDARD DETAIL TREE PROTECTION DURING CONSTRUCTION </div>	 <div style="text-align: center;"> CITY OF WILMINGTON <small>NORTH CAROLINA</small> CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807 </div>	<div style="text-align: center;"> SHEET 2 of 2 </div>
DRAWN BY JSR				
CHECKED BY RDG, P.E.				
SCALE <u>NOT TO SCALE</u>				
SD 15-09				



**Know what's below.
Call before you dig.**

<u>REVISIONS:</u>	
REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 07/08/21	08/10/21
REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 11/15/21	12/03/21

CLIENT INFORMATION:

PARAMOUNT

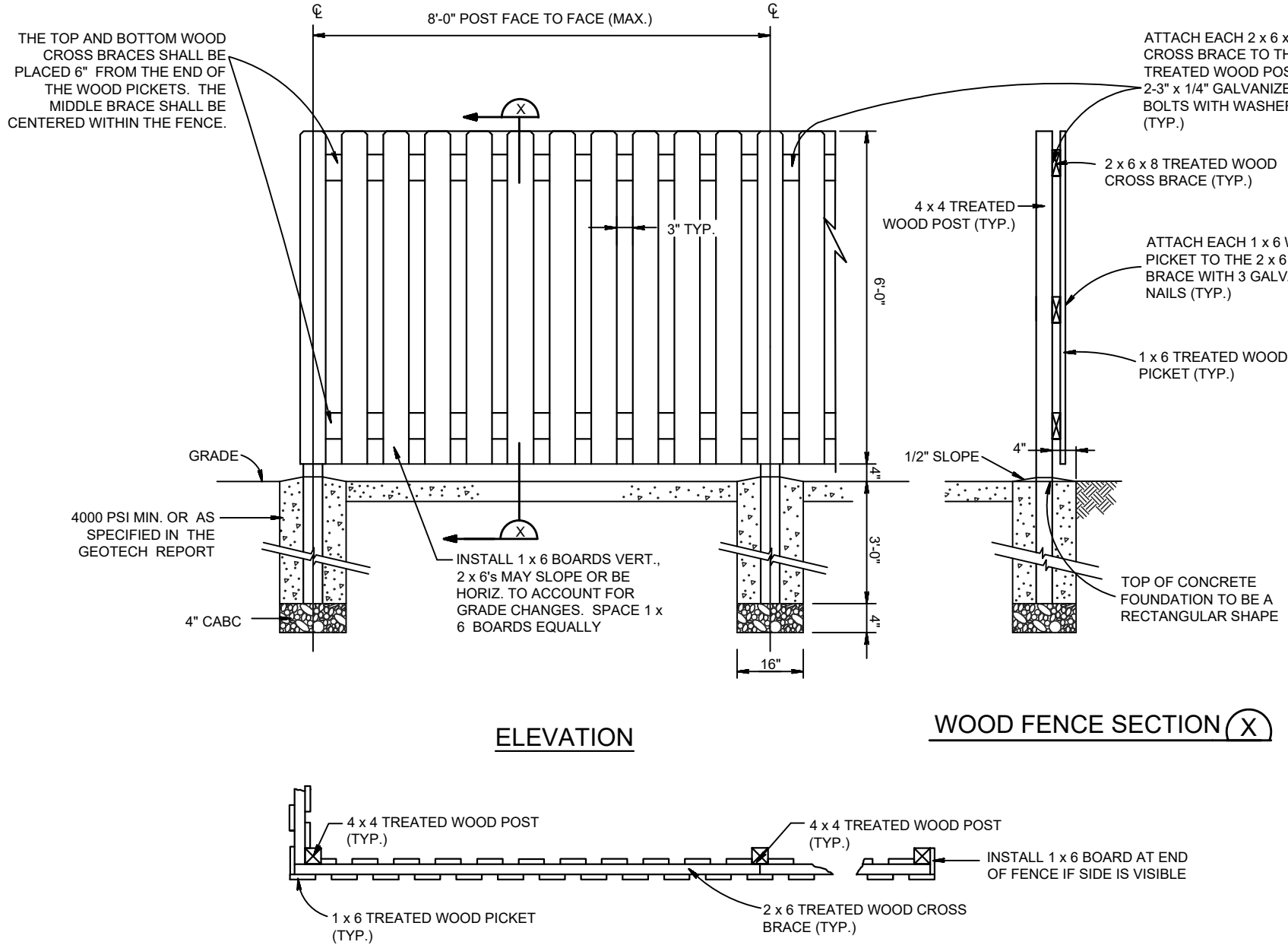
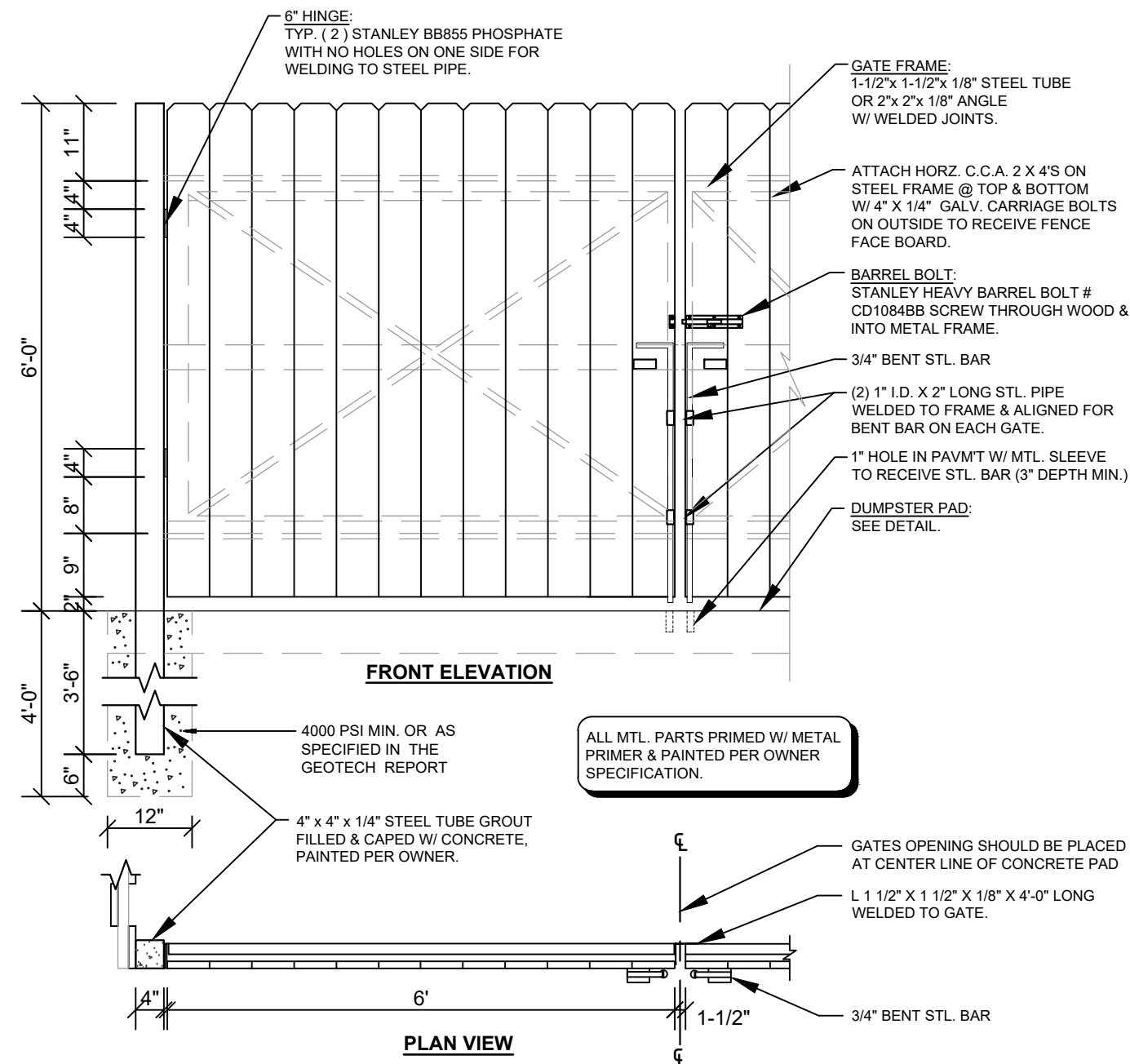
DETAILS
3542 SOUTH COLLEGE ROAD
WILMINGTON
NORTH CAROLINA

PROJECT STATUS

C-4.1

PEI JOB#: 21159.PE

FINAL DESIGN - NOT ISSUED FOR CONSTRUCTION



FENCING NOTES AND SPECIFICATIONS

1. SPECIFICATIONS FOR WOOD FENCES, THE FOLLOWING SPECIFICATIONS, DERIVED FROM ASTM F 537 AND STANDARD PRACTICE IN THE FENCE INDUSTRY, SHALL APPLY TO THE MATERIALS AND CONSTRUCTION OF WOOD FENCES.

(A) POSTS AND FRAMING - POST SPACING SHALL NOT EXCEED EIGHT FEET (8').

(B) ALL POST HOLES SHOULD BE A MINIMUM OF THIRTY INCHES (30") DEEP FOR FOUR FEET (4') HIGH FENCES AND THIRTY-SIX INCHES (36") DEEP FOR FENCES HIGHER THAN FOUR FEET (4') UP TO EIGHT FEET (8'). ALL TERMINAL CORNER AND GATE POSTS SHOULD BE SET TO FOURTY-TWO INCHES (42") DEEP.

(C) POST HOLES SHOULD BE AT LEAST FOUR INCHES (4") LARGER IN DIAMETER THAN THE LARGEST DIMENSION OF THE POST. ALL TERMINAL CORNER AND GATE POSTS SHOULD BE SET IN CONCRETE.

(D) FENCES UP TO FIVE FEET (5') SHALL HAVE A MINIMUM OF TWO RAILS (STRINGERS) TOP AND BOTTOM. FENCES OVER FIVE FEET (5') SHALL HAVE A THIRD RAIL AT CENTER HEIGHT. STRINGERS SHALL BE 2X6 MINIMUM (NOMINAL).

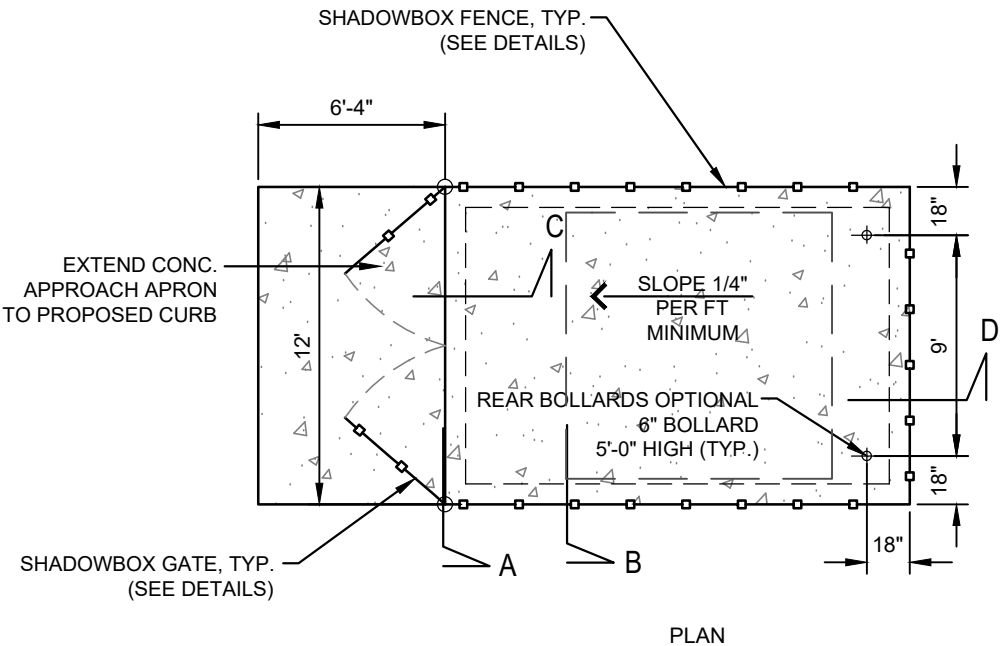
(E) MATERIALS - ALL MATERIALS USED IN WOOD FENCING SHOULD BE EITHER (1) NATURALLY ROT-RESISTANT WOOD (SUCH AS CEDAR), (2) A WOOD PRESURE TREATED FOR ROT-RESISTANCE, OR (3) BE COATED THOROUGHLY WITH A PAINT OR PROTECTIVE COATING IMMEDIATELY ON ERECTION.

(F) FASTENERS - FASTENERS SHALL BE MADE OF A NON-RUSTING, NON-CORROSIVE MATERIAL, OR COATED TO RESIST RUSTING. NAILS SHALL BE LONG ENOUGH TO PENETRATE THE RECEIVING MEMBER TWICE THE THICKNESS OF OR THE THINNER MEMBER BUT NOT LESS THAN ONE AND ONE-HALF INCHES (1 1/2").

(G) COVER BOARDS SHALL BE 1/2" MINIMUM THICKNESS.

(H) SOLID WOOD FENCES SHOULD ALLOW FOR EXPANSION TO AVOID BUCKLING AS FOLLOWS: FOR WIDTHS 2 TO 4 INCHES, A ONE SIXTEENTH INCH (1/16") SPACE SHOULD BE PROVIDED. FOR WIDTHS 6 TO 8 INCHES, A MINIMUM SPACE OF ONE EIGHTH INCH (1/8") SHOULD BE PROVIDED.

(I) THE TOPS OF THE COVER BOARDS SHALL BE CUT AS DOG EAR (CORNERS CUT OFF AT 45 DEGREE ANGLES).



- NOTES:**
- BOLLARDS ARE OPTIONAL DEPENDING ON OWNER'S PREFERENCE.
 - ENCLOSURE SHALL BE SHADOWBOX FENCE. SEE DETAILS THIS SHEET.

DUMPSTER PAD AND ENCLOSURE DETAIL

NOT TO SCALE

NOTES:

- SEE FENCING NOTES, THIS SHEET.

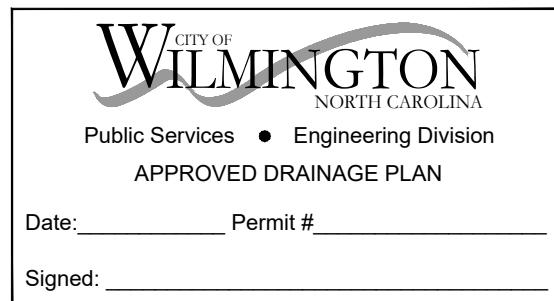
SHADOW BOX FENCE AND GATE DETAILS

NOT TO SCALE

APPROVED
By waltonj at 11:09 am, Dec 06, 2021

Trinity Express Tire and Service
APPROVED 12/6/21
SWP 2021047
JW, ES, BM, CW, MB

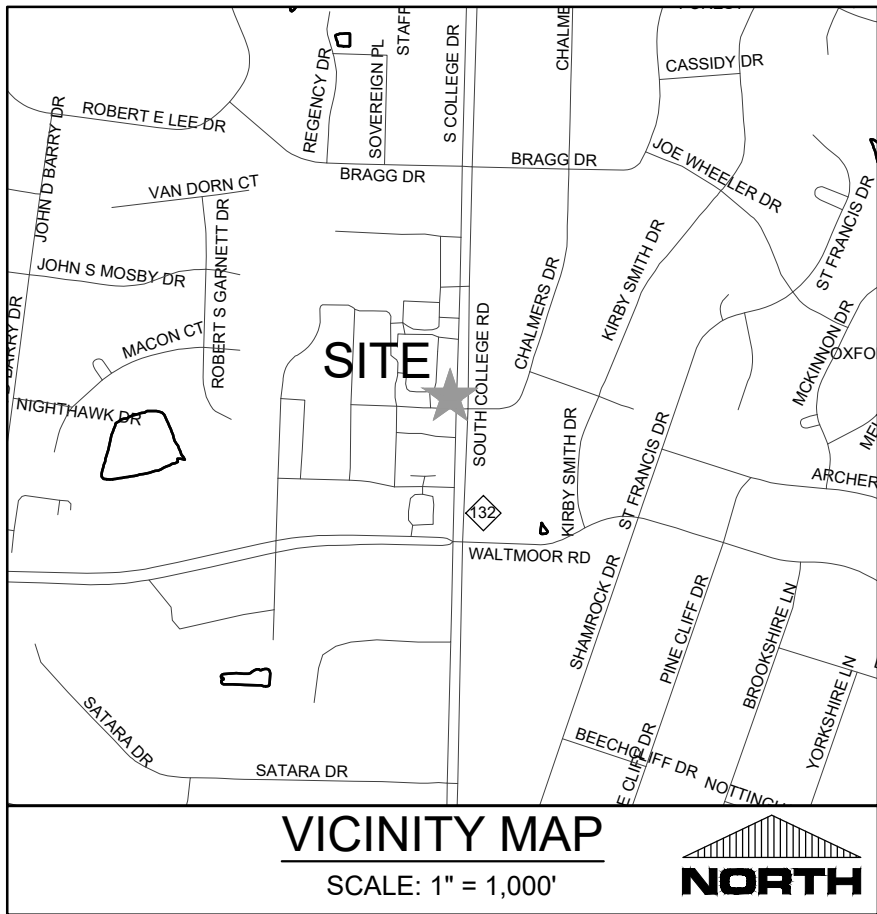
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



FINAL DESIGN - NOT ISSUED FOR CONSTRUCTION

PROJECT STATUS CONCEPTUAL LAYOUT: FINAL DESIGN LAYOUT: RELEASED FOR CONSTRUCTION: DATE: SCALE: DRAWN: CHECKED:	DRAWING INFORMATION DATE: 12/03/21 AS SHOWN DATE: 12/03/21 AS SHOWN DATE: 12/03/21 AS SHOWN DATE: 12/03/21 AS SHOWN	DETAILS	3542 SOUTH COLLEGE ROAD WILMINGTON NORTH CAROLINA	CLIENT INFORMATION: TRINITY EXPRESS COASTAL, LLC 5508 MIDDLETON ROAD DURHAM, NC 27713	REVISIONS: 06/10/21 REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 07/06/21 12/03/21 REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 11/10/21

C-4.2
PEI JOB#: 21159.PE



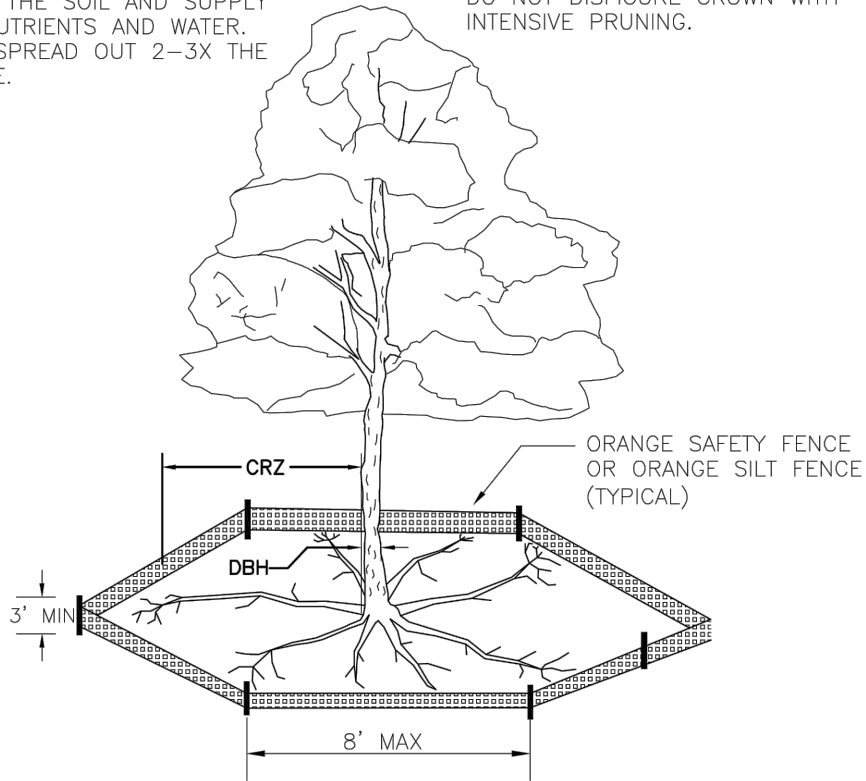
SITE DATA
PARCEL ID: R06600-001-026-00
PARCEL OWNERSHIP: RAINY DAYS INC.
PO BOX 3274
TOPSAIL BEACH, NC 28445

PROJECT NAME: TRINITY EXPRESS
SITE ADDRESS: 3542 S. COLLEGE ROAD
WILMINGTON, NC 28403
006396 / 001451
0.417 ACRES / 18,172 SF
CB-COMMUNITY BUSINESS
CITY OF WILMINGTON

- NOTES**
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
 - ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
 - ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCPCCHR OR ASSE.
 - NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
 - CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO ANY DIGGING, CLEARING OR GRADING.

NOTE:
THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY, 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

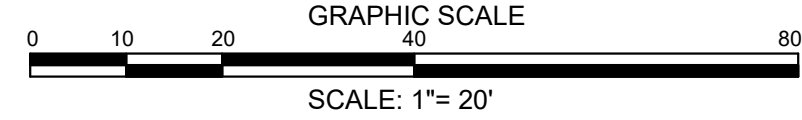
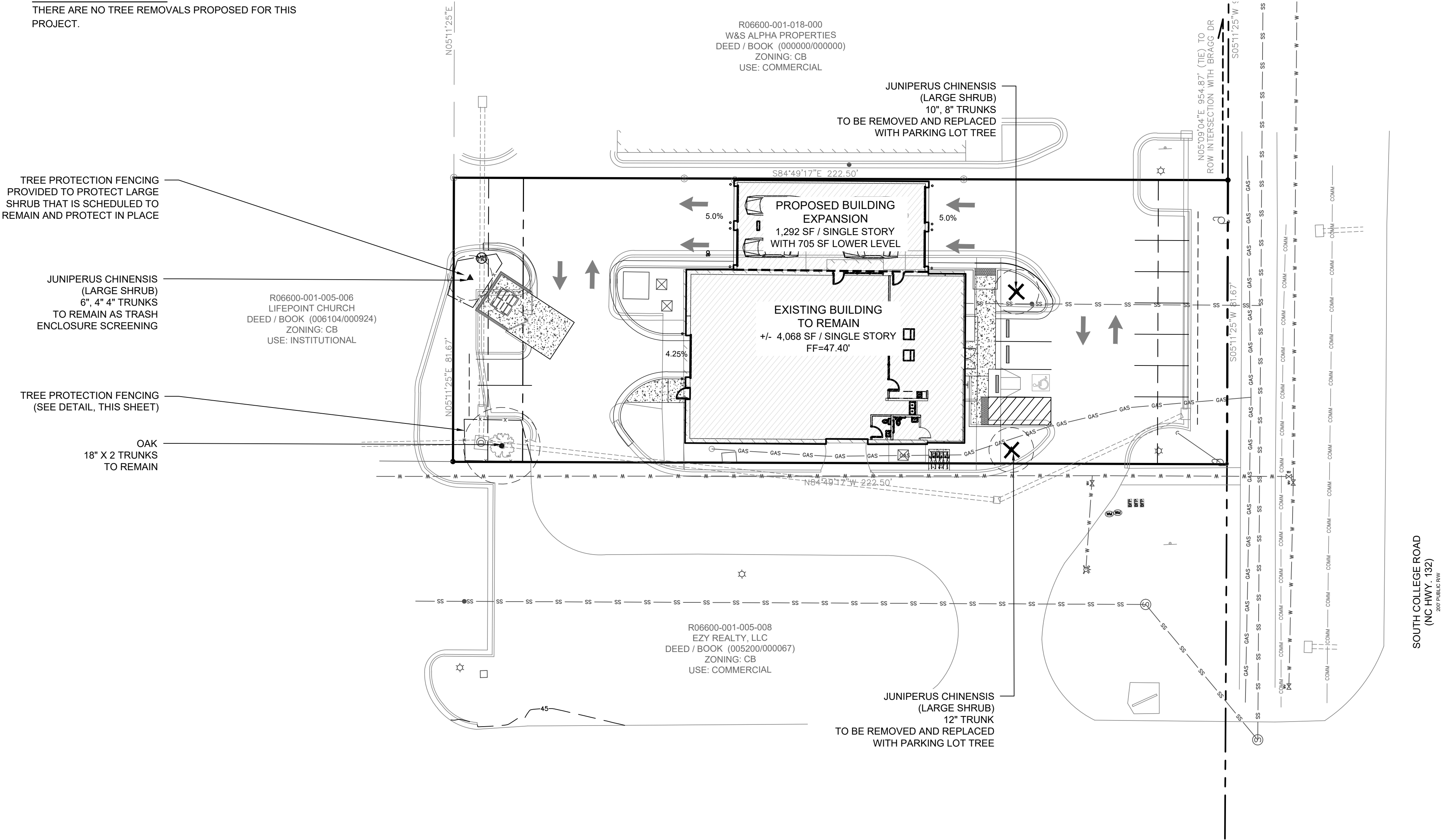
NOTE:
CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISGUISE CROWN WITH INTENSIVE PRUNING.




- NOTES:**
- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 - CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 - IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATTS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
 - WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 - FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES, DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 - FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

STANDARD DETAIL		 CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
DATE:	JAN, 2015	
DRAWN BY:	JSR	
CHECKED BY:	RDG, P.E.	
SCALE:	NOT TO SCALE	
TREE PROTECTION DURING CONSTRUCTION		SHEET 1 of 2
		SD 15-09

TREE REMOVAL NOTES
THERE ARE NO TREE REMOVALS PROPOSED FOR THIS PROJECT.



NCDENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)
Approved Construction Plan


Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Trinity Express Tire and Service
APPROVED 12/6/21
SWP 2021047
JW, ES, BM, CW, MB

APPROVED
By waltonj at 11:09 am, Dec 06, 2021

REVISIONS:	
REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 07/20/21	08/31/21
REVISED PER CITY OF WILMINGTON REVIEW COMMENTS 11/15/21	12/03/21

CLIENT INFORMATION:
TRINITY EXPRESS COASTAL, LLC
5508 MIDDLETON ROAD
DURHAM, NC 27713

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License # C-2546

TREE INVENTORY & REMOVAL PLAN
3542 SOUTH COLLEGE ROAD
WILMINGTON
NORTH CAROLINA

PROJECT STATUS:
CONCEPT LAYOUT: _____
FINAL DESIGN: _____
RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION:
DATE: 12/03/21
SCALE: 1" = 20'
DRAWN: _____
CHECKED: _____

12/03/2021

L-1.0
PEI JOB#: 21159.PE

FINAL DESIGN - NOT ISSUED FOR CONSTRUCTION

